

BROOKS RESIDENCE

200 PARSONS ROAD
LANDENBERG LONDON BRITAIN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA 19350



Owner:
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200 PARSONS ROAD
LANDENBERG LONDON BRITAIN TOWNSHIP
CHESTER COUNTY, PA 19350

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ABBREVIATIONS

ABV. - ABOVE	EXT. - EXTERIOR	PLAM. - PLASTIC LAMINATE
A.F.F. - ABOVE FINISHED FLOOR	FIN. - FINISH	PLAS. - PLASTER
ALT. - ALTERNATE	F.E. - FIRE EXTINGUISHER	PL. - PLATE
ALUM. - ALUMINUM	F.F. - FINISHED FLOOR	PLUMB. - PLUMBING
APPROX. - APPROXIMATE	F.H. - FIBER GLASS	PLYWD. - PLYWOOD
ARCH. - ARCHITECTURAL	F.H.C. - FIRE HOSE CABINET	PT. - POINT
AWN. - AWNING	FIXT. - FIXTURE	P.T. - PRESSURE TREATED
BATT. - BATTING	F.D. - FLOOR DRAIN	PROJ. - PROJECTED
BLKG. - BLOCKING	F.B.O. - FURNISHED BY OTHERS	R.B.D. - RIDGE BOARD
BLDG. - BUILDING	GALV. - GALVANIZED	REC. - RECESS
BOT. - BOTTOM	GAR. - GARAGE	REF. - REFERENCE
CAB. - CABINET	G.C. - GENERAL CONTRACTOR	REQ'D. - REQUIRED
CPT. - CARPET	GYP. - GYPSUM	SCHED. - SCHEDULED
CLG. - CEILING	G.W.B. - GYPSUM WALL BOARD	SEAL. - SEALANT
CTR. - CENTER	H.C. - HANDICAPPED	SECT. - SECTION
C. - CENTERLINE	HAND. - HANDRAIL	SHT. - SHEET
CAS. - CASEMENT	HGT. - HEIGHT	SIM. - SIMILAR
C.T. - CERAMIC TILE	H.W. - HARDWOOD	SK. - SKETCH
CL. - CLOSET	INC. - INCORPORATED	SPIR. - SPRINKLER
COL. - COLUMN	INSU. - INSULATION	S.S. - STAINLESS STEEL
CONC. - CONCRETE	INT. - INTERIOR	STL. - STEEL
C.M.U. - CONC. MASONRY UNIT	J.C. - JANITOR'S CLOSET	STRUCT. - STRUCTURAL
CONST. - CONSTRUCTION	LAM. - LAMINATED	S. - SURFACE
CONT. - CONTINUOUS	LTG. - LIGHTING	TEL. - TELEPHONE
DB. - DOUBLE	MFG. - MANUFACTURER	T.B.D. - TO BE DETERMINED
DBH. - DOUBLE HUNG	MAS. - MASTER	TEMP. - TEMPERED
DET. - DETAIL	MAT. - MATERIAL	TRI. - TRIPLE
DIAG. - DIAGONAL	MAX. - MAXIMUM	TYP. - TYPICAL
DIAM. - DIAMETER	M.E. - MATCH EXISTING	U.N.O. - UNLESS NOTED OTHERWISE
DIM. - DIMENSION	MECH. - MECHANICAL	V.C.T. - VINYL COMPOSITION TILE
DISP. - DISPENSER	MTL. - METAL	V.I.F. - VERIFY IN FIELD
DR. - DOOR	MIN. - MINIMUM	VERT. - VERTICAL
DN. - DOWN	MISC. - MISCELLANEOUS	VEST. - VESTIBULE
DRN. - DRAIN	MUL. - MULLION	VIN. - VINYL
DWG. - DRAWING	N.T.C. - NOT IN CONTRACT	V.T. - VINYL TILE
EA. - EACH	N.T.S. - NOT TO SCALE	WD. - WOOD
ELEC. - ELECTRICAL	O.C. - ON CENTER	WIND. - WINDOW
EL. - ELEVATION	OPENG - OPENING	W.I.C. - WALK-IN CLOSET
ENCL. - ENCLOSURE	O.H. - OVERHEAD	
EQ. - EQUAL	PTD. - PAINTED	
EQUIP. - EQUIPMENT	PR. - PAIR	
EXP. - EXPOSED	PNL. - PANEL	
EXIST. - EXISTING	PART. - PARTITION	
	PEJ. - PEDESTAL	

BUILDING INFORMATION

BUILDING CODE: 2015 IRC; 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)
OCCUPANCY USE CLASSIFICATION(S): R-3
CONSTRUCTION TYPE(S) / CLASSIFICATION(S): VB
PROJECT DESCRIPTION: SINGLE FAMILY RESIDENCE
ZONING CODE DETAILS: ZONING CLASSIFICATION S (SUBURBAN)
AUTHORITY HAVING JURISDICTION: LONDON BRITAIN TWSP. CHESTER COUNTY, PENNSYLVANIA
AREA OF CONDITIONED SPACE:
FITNESS ADDITION & BREEZEWAY
BREEZEWAY: 200 SQ.FT.
FITNESS AREA: 2,117 SQ.FT.
ADDITION TOTAL: 2,317 SQ.FT.

AERIAL SITE LOCATION



SYMBOLS LEGEND

Interior Elevation Number A-401	Window Type 1	Revision Number 1
Elevation or Section Number A-201	Partition Type 1A	Accessory / Fixture Type A
Detail Number A-401	Working Point Or Control Point	Plan North
Door Number 101	Office Room Name 101	Magnetic North
New Column 1	Room Number APC-1 Ceiling Type 9'-0"	& Alt
Existing Column 1	W. Wall Finish P-1 B. Base WB-1 F. Floor Finish CPT-1	# Diameter CL Center Line
	CSS-1 Casework Finish	Dimension to Face of Material

MATERIALS LEGEND

Concrete Masonry Unit	Insulation - Rigid	Insulation - Batt, Blanket Or Loose
Brick	Glass In Elevation	Plywood
Concrete	Wood - Continuous Lumber	Gypsum Board
Porous Fill, Stone Or Gravel	Wood - Blocking	Steel
Earth	Wood - Finish	Stone

LIST OF DRAWINGS

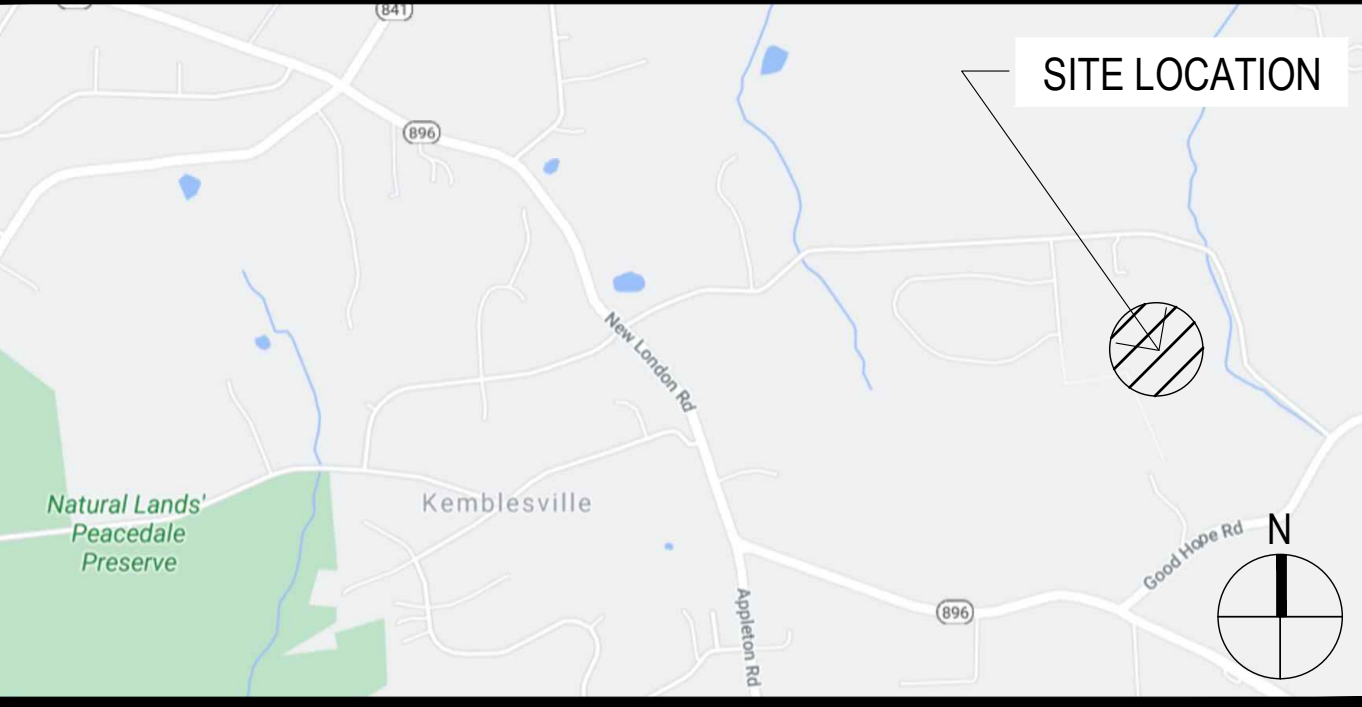
ARCHITECTURAL

CS-1	COVER SHEET
CS-2	GENERAL NOTES
A-1	FOUNDATION PLAN
A-2	FIRST FLOOR PLAN
A-3	ROOF PLAN
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	BUILDING SECTIONS
A-7	BUILDING SECTIONS
A-8	WALL SECTIONS
A-9	DETAILS
A-10	DETAILS

STRUCTURAL

S-1	FIRST FLOOR FRAMING PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
S-4	DETAILS
S-5	DETAILS
S-6	SHEARWALL DETAILS
S-7	SHEARWALL DETAILS

LOCATION MAP



CONSTRUCTION NOTES

1.0 GENERAL

- ALL WORK SHALL CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE AND THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE AS ADOPTED AND AMENDED BY LONDON BRITAIN TOWNSHIP CHESTER COUNTY, PENNSYLVANIA, AND TO ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, RULES AND ORDINANCES. NO WORK SHALL BEGIN UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED.
- ALL NOTES ARE TYPICAL, UNLESS NOTED OTHERWISE. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- BRACING, SHEETING, SHORING, ETC., REQUIRED TO SUPPORT EXISTING BUILDINGS, SIDEWALKS, UTILITIES, ETC., SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR.

2.0 EARTHWORK

- REMOVE UNSUITABLE SOILS ENCOUNTERED DURING EXCAVATION FOR FOUNDATIONS. BACKFILL THESE EXCAVATIONS AND AREAS REQUIRING STRUCTURAL FILL WITH CLEAN ML OR BETTER BORROW (PER ASTM D 2487) PLACED IN 8" MAXIMUM LIFTS. COMPACT TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557). IF APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, SUITABLE ON-SITE SOIL MAY BE USED IN LIEU OF SELECT BORROW.
- EXCAVATION SHALL BE PERFORMED WITHIN OSHA GUIDELINES, SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND UTILITIES AS REQUIRED.
- ONLY PREDOMINATELY GRANULAR SOILS FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS, COMPLETELY PASSING A 2" SIEVE AND WITH LESS THAN 35% PASSING A NO. 200 SIEVE MAY BE USED AS RETAINING WALL OR BASEMENT WALL BACKFILL.
- DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL BASEMENT SLAB ON GRADE AND ALL FRAMED SLABS ARE IN PLACE AND HAVE ATTAINED THE SPECIFIED DESIGN STRENGTH. BRACE AND PROTECT FOUNDATION WALLS AND PIERS DURING BACKFILLING.

3.0 FOUNDATIONS

- FOUNDATIONS HAVE BEEN DESIGNED BASED UPON A PRESUMPTIVE MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. PRIOR TO FOOTING CONCRETE PLACEMENT THE FOOTING SUBGRADE SHALL BE APPROVED BY A LICENSED GEOTECHNICAL ENGINEER. IF CONDITIONS PROVE TO BE UNACCEPTABLE AT ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED TO ACCEPTABLE SUBGRADE MATERIAL. FILL OVER EXCAVATIONS WITH LEAN CONCRETE (2500 PSI) OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3" BELOW FINISHED GRADE.
- UNLESS OTHERWISE NOTED OR DETAILED, ALL FOUNDATIONS SHALL BE LOCATED SUCH THAT THE CENTERLINE OF FOOTING IS ALSO THE CENTERLINE OF WALL, PIER, OR COLUMN.
- ALL BOTTOM OF FOOTING TRANSITIONS SHALL BE MADE USING STEPS AS SHOWN ON THE "TYPICAL STEPPED FOOTING" DETAIL. WHERE NEW FOOTINGS ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING.
- VERIFY SOIL CLASSES GM, GC, SM, SM-SC AND ML WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM, IRC TABLE R405.1.
- BACKFILL CONCRETE SLAB-ON-GRADE CONDITIONS SUPPORTED ON STRUCTURAL FILL WITH CLEAN ML OR BETTER BORROW (PER ASTM D 2487) PLACED IN 8" MAXIMUM LIFTS. COMPACT TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557).

4.0 CONCRETE

- CONCRETE SHALL BE REINFORCED, DETAILED AND CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318, LATEST EDITION), THE SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301, LATEST EDITION) AND THE MANUAL OF STANDARD PRACTICE.
- CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MINIMUM COMPRESSIVE 28 DAY STRENGTH (F_c) OF 3,000 PSI FOR FOOTINGS, 4,000 PSI FOR SLABS, WALLS, AND PIERS. AIR ENTRAINMENT 4% TO 6% IN ALL EXPOSED CONCRETE WORK.
- ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150 TYPE I / II. AGGREGATE SHALL CONFORM TO ASTM C33.
- REINFORCING STEEL: ASTM A 615 GRADE 60.
- REINFORCING STEEL DIMENSIONS ARE TO THE CENTERLINE OF BAR, UNLESS NOTED OTHERWISE.
- PROVIDE DOWELS INTO FOOTINGS TO MATCH SIZE AND SPACING OF VERTICAL WALL REINFORCING.
- WELDED WIRE FABRIC: (W.W.F.) ASTM A 185. LAP WELDED WIRE FABRIC TWO (2) FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER.
- SLAB-ON-GRADE: LOCATE W.W.F. REINFORCING 1" FROM TOP OF SLAB, UNLESS NOTED OTHERWISE. PLACE SLAB ON 10 MIL POLYETHYLENE VAPOR BARRIER AND 4" AASHTO #57 STONE. PROVIDE CONTROL JOINTS AT MAXIMUM 25' ON CENTER, MAXIMUM 2'-1 LENGTH TO WIDTH RATIO CUT TO 3/4" BELOW TOP OF SLAB.
- IN BASEMENT FOUNDATION WALLS, PROVIDE (1) NO. 4 WITHIN 12" OF THE TOP OF THE WALL AND (1) NO. 4 NEAR 1/3 POINTS OVER THE HEIGHT OF THE WALL IN ACCORDANCE WITH IRC TABLE R404.1.2(1).
- PROVIDE FULL DEPTH 1/2" PRE-MOLDED ISOLATION JOINT BETWEEN SLAB AND WALLS, PIERS, AND OTHER VERTICAL FACES.
- PLACE (2) #4 BY 4" LONG REINFORCING BARS, 3/4" BELOW SLAB-ON-GRADE SURFACE, 2" APART AT ALL RE-ENTRANT CORNERS.
- PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES AND CORNERS.
- THE RECOMMENDATIONS CONTAINED IN ACI COMMITTEE REPORT 306R "COLD WEATHER CONCRETING" SHALL BE OBSERVED.
- THE RECOMMENDATIONS CONTAINED IN ACI COMMITTEE REPORT 305R "HOT WEATHER CONCRETING" SHALL BE OBSERVED.

CONSTRUCTION NOTES

5.0 MASONRY

- COMPLY WITH THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402 LATEST EDITIONS).
- CONSTRUCT IN ACCORDANCE WITH SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6, TMS 602, LATEST EDITIONS).
- CONCRETE BLOCK MASONRY UNITS: ASTM C90 AND C145, GRADE N NORMAL WEIGHT AGGREGATE, TYPE 1. PRISMS TO HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH, FM OF 1,500 PSI.
- MORTAR: ASTM C270 TYPE S.
- GROUT: ASTM C476 WITH PEA GRAVEL AGGREGATE (MAXIMUM AGGREGATE SIZE OF $\frac{3}{4}$ ") AND A MINIMUM STRENGTH OF 2000 PSI, BUT NOT LESS THAN FM, PLACED IN MAXIMUM 4" LIFTS.
- HORIZONTAL JOINT REINFORCEMENT: ASTM A82, GALVANIZED, 3/16" DIAMETER SIDE RODS, 9 GA. CROSS RODS, TRUSS TYPE. PROVIDE IN EVERY OTHER COURSE (16" CENTERS) VERTICALLY.
- ALLOW MASONRY SOLID IF EITHER FACE IS AT OR BELOW GRADE OR SLAB-ON-GRADE.
- PROVIDE AND INSTALL TEMPORARY BRACING REQUIRED INSURING STABILITY OF ALL WALLS DURING CONSTRUCTION, AND UNTIL ERECTION OF ATTACHED STRUCTURAL FRAMING IS COMPLETED.
- ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFORE IMPOSING CONCENTRATED OR OTHER LOADS FROM ABOVE.
- LINTELS: UNLESS OTHERWISE DETAILED, PROVIDE 8" DEEP LINTELS OVER DOOR, WINDOW, DUCT AND OTHER MASONRY OPENINGS, FOR EACH 4" OF WALL THICKNESS, AS FOLLOWS:

OPENING WIDTH	CONCRETE BLOCK	BRICK (1-L)
TO 4'-0"	P/C UNIT, 1-45 T&B	L X 3-1/2 X 5/16
4'-0" TO 6'-0"	P/C UNIT, 1-44 T&B	L X 3-1/2 X 5/16
6'-0" TO 8'-0"	P/C UNIT, 1-45 T&B	L X 3-1/2 X 5/16
- ALL ANGLES IN EXTERIOR WALLS TO BE HOT-DIPPED GALVANIZED. ALL DOUBLE ANGLE LINTELS SHALL BE WELDED BACK TO BACK WITH A MINIMUM 2" STITCH WELD EVERY 8".
- ALL BEAMS SUPPORTING MASONRY, INCLUDING STEEL, PRECAST, AND MASONRY LINTELS ARE TO BEAR 8" (MIN.) ON 3 COURSES SOLID MASONRY.

6.0 STRUCTURAL STEEL

- FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE FOURTEENTH AISC SPECIFICATION AND CODE OF STANDARD PRACTICE.
- STRUCTURAL STEEL: W SHAPES ASTM A-992. STEEL SHAPES AND PLATES: ASTM A-36.
- STEEL PIPE: ASTM A-53, TYPE E OR S, GRADE B.
- STEEL TUBING (SQUARE OR RECT.): ASTM A500, GRADE C (ROUND); ASTM A501.
- BOLTED CONNECTIONS SHALL BE WITH ASTM A325-N OR A490-N HIGH STRENGTH BOLTS, 3/4" DIAMETER MINIMUM. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
- ANCHOR BOLTS: ASTM F1554, GRADE 36. HEX NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-563.
- CONNECTIONS SHALL BE DESIGNED FOR ONE-HALF THE TOTAL ALLOWABLE UNIFORM LOAD (MIN.) PER AISC BEAM LOAD TABLES, UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM 1/2" THICK CAP AND BASE PLATES. BASE PLATES TO BE SET ON 3/4" NON-SHRINK, NON-METALLIC GROUT. ALL COLUMN BASE PLATES TO HAVE A MINIMUM (4) ANCHOR BOLTS.
- WELDING ELECTRODES FOR FIELD WELDING: E70-X5 SERIES. WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS.
- STEEL ANGLES AND PLATES ALONG WITH BOLTS AND WASHERS, IN DIRECT CONTACT WITH EXTERIOR FINISH MASONRY, AND ALL EXPOSED STRUCTURAL STEEL, SHALL BE HOT-DIPPED GALVANIZED.
- FIELD WELDED SURFACES WITHIN 4 INCHES OF BOLTS SHALL BE CLEANED AND GROUND SMOOTH. AFTER WELDING COAT SURFACE WITH APPROPRIATE PRIMER/PAINTS AS SPECIFIED.

7.0 STRUCTURAL WOOD

- COMPLY WITH THE AMERICAN WOOD COUNCIL NATIONAL DESIGN SPECIFICATIONS (NDS) FOR WOOD CONSTRUCTION, LATEST EDITION.
- MINIMUM DESIGN VALUES FOR FLOOR/ROOF JOIST FRAMING: HEM-FIR NO. 2 OR BETTER AS PUBLISHED IN THE NDS SUPPLEMENT, WITH THE APPLICABLE ADJUSTMENT FACTORS. SUBMIT CERTIFICATION OF MATERIAL GRADE AND SPECIES PRIOR TO INSTALLATION OR ASSEMBLY.
- WOOD SUBJECT TO EXTERIOR EXPOSURE, IN CONTACT WITH MASONRY OR CONCRETE OR AT ABOVE GROUND LOCATIONS SPECIFIED IN IRC SECTION R317.1 SHALL BE SOUTHERN PINE NO. 2 OR BETTER, TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD U1.
- BUILT-UP COLUMNS TO BE ASSEMBLED USING STRUCTURAL ADHESIVE AND 8d NAILS THROUGH EACH PLY AT 8" O.C. VERTICALLY.
- MICROLLAM LVL AND PARALLAM PSI BEAMS HAVE BEEN DESIGN BASED ON SECTION PROPERTIES AND MINIMUM ALLOWABLE DESIGN STRESSES PUBLISHED BY I LEVEL BY WEYERHAEUSER. EQUIVALENT PRODUCTS BY A SINGULAR SIMILAR MANUFACTURER MATCHING THE DESIGN PROPERTIES AND SECTION SIZES OF I LEVEL BY WEYERHAEUSER MAY BE SUBSTITUTED. FRAMING PLANS, DETAILING AND CALCULATIONS FOR ANY ALTERNATE PRODUCTS MUST BE SUBMITTED FOR REVIEW. STORE, INSTALL, AND ERECT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TJI JOISTS HAVE BEEN DESIGNED AND DESIGNATED BASED ON SECTION PROPERTIES AND MINIMUM ALLOWABLE DESIGN STRESSES PUBLISHED BY I LEVEL BY WEYERHAEUSER. EQUIVALENT PRODUCTS BY A SINGULAR SIMILAR MANUFACTURER MATCHING THE DESIGN PROPERTIES AND SECTION SIZES OF I LEVEL BY WEYERHAEUSER MAY BE SUBSTITUTED. FRAMING PLANS, DETAILING AND CALCULATIONS FOR ANY ALTERNATE PRODUCTS MUST BE SUBMITTED FOR REVIEW. STORE, INSTALL, AND ERECT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE TWO JOISTS BELOW INTERIOR WALLS PARALLEL TO JOIST SPAN.
- FRAMING HANGERS, CLIPS, AND ANCHORS ASTM A506, 18 GAUGE MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. AT A MINIMUM, PROVIDE BETWEEN EACH BEAM, JOIST, RAFTER, OR PURLIN AND SUPPORTING MEMBER. ALL CONNECTORS TO HAVE Z-MAX COATING (G185 MIN).
- EXTERIOR WALL SHEATHING SHALL CONSIST OF $\frac{5}{8}$ " NOMINAL WOOD STRUCTURAL PANELS (PLYWOOD OR OSB) FASTENED WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. HORIZONTAL BLOCKING OF PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT IN THOSE AREAS SPECIFICALLY NOTED.
- FLOOR SHEATHING: GROUP 1 APA RATED SHEATHING, NOMINAL THICKNESS 3/4", TONGUE AND GROOVE, GLUED WITH A STRUCTURAL QUALITY ADHESIVE AND NAILED, MINIMUM SPAN RATINGS OF 32/16. EXPOSURE 1.
- ROOF SHEATHING: GROUP 1 APA RATED SHEATHING, NOMINAL THICKNESS 5/8", MINIMUM SPAN RATING 48/24. EXPOSURE 1.
- PROVIDE BLOCKING, BRACING, AND BRIDGING PER THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
- NAIL IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE FASTENING SCHEDULE.
- PROVIDE 1/2" DIAMETER BY MINIMUM 8" EMBEDMENT ANCHOR BOLTS, 12" MAXIMUM FROM EACH CORNER AND 48" MAXIMUM O.C. THEREAFTER.
- LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS:
THE STRUCTURE HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM 115 MPH BASIC WIND SPEED, EXPOSURE B (ASCE7-10 FIGURE 26.5-1A, PER IRC R301.2.1.1), RISK CATEGORY II, IMPORTANCE FACTOR 1.00, SITE CLASS D, SEISMIC DESIGN CATEGORY B. DESIGN WAS CONDUCTED TO COMPLY WITH THE 2015 IRC AND THE LOADING REQUIREMENTS OF ASCE 7-10, AS PERMITTED BY THE 2015 IRC SECTIONS R301.2.1.1 AND R602.3. LATERAL RESISTANCE PROVIDED BY THE CONTINUOUS SHEATHING METHOD (IRC SECTION R602.10.4.2, METHOD CS-HSP), AND USES ALL SHEATHABLE SURFACES ON ONE SIDE OF THE EXTERIOR WALLS, INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS, UNLESS NOTED OTHERWISE. THE BUILDING STRUCTURE IS ENGINEERED TO ADEQUATELY RESIST ALL BUILDING CODE REQUIRED LATERAL FORCES.

GENERAL NOTES

- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING AND THE MAJOR ARCHITECTURAL ELEMENTS. AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENT OF THE CONTRACT DOCUMENTS OF THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBE. THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- EACH SUBCONTRACTOR SHALL INSPECT THE SITE, EXAMINE, AND OBTAIN COMPLETE FIELD DATA WHICH MAY AFFECT THE COST OF THE WORK, INCLUDING EXISTING CONDITIONS, THE PROPOSED CONSTRUCTION, THE PROTECTION TO BE AFFORDED ADJACENT PARTS, TREES SHRUBS, ETC., THE NATURE AND LOCATION OF THE WORK AND ALL MATTERS WHICH MAY IN ANY WAY AFFECT THE WORK OR ITS PERFORMANCE.
- ALL SUBCONTRACTORS ARE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH LOCAL BUILDING CODES, REQUIREMENTS FOR LICENSE, INSURANCE, ETC. AS WELL AS PROVIDING EVIDENCE OF COMPLIANCE PRIOR TO COMMENCEMENT OF WORK.
- ALL MATERIAL AND WORK SHALL MEET THE REQUIREMENTS OF ALL GOVERNING CODES, ORDINANCES, LAW REGULATIONS AND SAFETY ORDERS AND DIRECTIVES RELATING TO THE PROJECT.
- SUBCONTRACTORS FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING THEIR REQUIRED BUILDING PERMITS.
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL BUILDING CODES AND ALL OTHER GOVERNING AGENCIES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF THE WORK. VERIFY LAYOUT IN RELATION TO PROPERTY, BENCH-MARKS, AND OTHER FIXED CONDITIONS. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS AND LICENSES.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE DURING COURSE OF PROJECT, AND DISPOSE OF LEGALLY OFF-SITE.
- CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING AND PROTECTION REQUIRED TO COMPLETE THE WORK AS INDICATED ON THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROVIDE ALL INSPECTIONS AND TESTS REQUIRED BY STATE AND LOCAL AUTHORITIES INCLUDING BUT NOT LIMITED TO EARTHWORK, CONCRETE, STEEL ERECTION, MECHANICAL, PLUMBING, AND ELECTRICAL WORK. REFER TO INDIVIDUAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- UNLESS INDICATED OTHERWISE, PRODUCTS AND MANUFACTURERS ARE NOTED TO ESTABLISH THE TYPE AND QUALITY OF MATERIALS TO BE PROVIDED. CONTRACTOR MAY SUBMIT PROPOSED SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW, WITH ENOUGH SUPPORTING DATA PROVIDED FOR THE ARCHITECT TO MAKE AN EVALUATION. CONTRACTOR SHALL INCLUDE COSTS ASSOCIATED WITH PROPOSED SUBSTITUTION, INCLUDING REDESIGN, AND ALTERATION OF ADJACENT WORK TO ACCEPT SUBSTITUTION.
- ALL DIMENSIONS ARE EITHER TO FACE OF MASONRY OR THE FACE OF STUD, UNLESS NOTED OTHERWISE. DRAWINGS ARE NOT TO BE SCALED.
- INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES AND REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL PROVIDE SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKERS ARE ON THE JOB SITE AND SHALL SUPERVISE AND DIRECT ALL WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING THE WORK OF ALL TRADES UNDER THE CONTRACT.
- NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED ON THIS PROJECT OR USED DURING THE CONSTRUCTION OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CERTIFY TO THE OWNER THAT THIS REQUIREMENT HAS BEEN MET. SUBCONTRACTORS SHALL VERIFY TO THE CONTRACTOR THAT NO ASBESTOS OR OTHER HAZARDOUS PRODUCTS ARE USED IN THEIR WORK.
- LOCATIONS OF RATED FIRE/SMOKE SEPARATIONS AND/OR FIRE RESISTIVE STRUCTURAL PROTECTION ARE SHOWN ON DOCUMENTS. PROVIDE COMPLETE ASSEMBLIES TO MEET FIRE RESISTIVE REQUIREMENTS OF THE PROJECT INCLUDING PROTECTION OF STRUCTURAL ELEMENTS AND FIRE SEPARATION ASSEMBLIES. MAINTAIN THE INTEGRITY OF THESE ASSEMBLIES AT OPENINGS AND PENETRATIONS INCLUDING BUT NOT LIMITED TO FIRE OR SMOKE DAMPERS IN DUCTWORK, LIGHT FIXTURE PROTECTION, ELECTRICAL DEVICE BOX RATINGS, EXPANSION JOINTS, AND SEALANTS. PROVIDE THIS PROTECTION BY USING COMPLETE BUILDING COMPONENT SYSTEMS APPROVED BY RECOGNIZED AUTHORITIES SUCH AS UNDERWRITERS LABORATORIES, INC., FACTORY MUTUAL, OR OTHER BUILDING CODE ACCEPTED AGENCIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE SUBCONTRACTORS AND SUPPLIERS TO ACCOMPLISH THIS WORK DURING BIDDING, PROCUREMENT, SCHEDULING, SEQUENCING AND CONSTRUCTION OF THE PROJECT.
- DELEGATED DESIGN: WHEN PROFESSIONAL DESIGN SERVICES OR CERTIFICATIONS RELATED TO SYSTEMS, MATERIALS, OR EQUIPMENT ARE REQUIRED BY THESE DOCUMENTS, THE ARCHITECT/ENGINEER WILL SPECIFY PERFORMANCE AND DESIGN CRITERIA THAT SUCH SERVICES MUST SATISFY. THE CONTRACTOR SHALL CAUSE SUCH SERVICES AND CERTIFICATIONS TO BE PROVIDED BY A PROPERLY LICENSED DESIGN PROFESSIONAL, WHOSE SIGNATURE AND SEAL SHALL APPEAR ON ALL DRAWINGS, CALCULATIONS, SHOP DRAWINGS AND OTHER RELATED SUBMITTALS. THE OWNER AND ARCHITECT/ENGINEER SHALL BE ENTITLED TO RELY UPON THE ACCURACY AND COMPLETENESS OF THOSE DELEGATED SERVICES. THE ARCHITECT/ENGINEER WILL REVIEW SUBMITTALS ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE PERFORMANCE AND DESIGN CRITERIA.
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND FOLLOWING UP ON ALL INSPECTIONS.
- ON SITE, VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR.
- THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL NOTIFY OWNER, SHOULD ANY DISCREPANCY OR QUESTIONS ARISE PERTAINING TO THESE DRAWINGS. NO DECISION SHALL BE MADE WITHOUT THE APPROVAL OF ARCHITECT OR OWNER.
- ALL WORK SHALL BE PERFORMED IN A GOOD WORKMANLIKE MANNER. ALL WORK SHALL BE COMPLETE AND READY FOR USE BY THE OWNER.
- SUBCONTRACTORS IS RESPONSIBLE FOR REMOVAL OF DEBRIS AND LEAVING JOB SITE CLEAN AT THE END OF EACH WORKING DAY.
- ALL TRADES ARE TO COORDINATE THEIR WORK WITH THE SIZE AND LOCATION OF ANY EQUIPMENT TO BE INSTALLED, I.E. FURNACES, WATER HEATERS, PUMP/PUMPIPT, ETC.
- IF ANY CIRCUMSTANCES OCCUR IN WHICH THE STRUCTURE IS NOT BUILT EXACTLY ACCORDING TO THE PLANS, THE CONTRACTOR AND ARCHITECT WILL DISCUSS REASONABLE ALTERNATIVES WITH OWNER. THE RESULT SHALL BE REASONABLY CLOSE TO THE INTENT OF THE ARCHITECT.

GENERAL NOTES

NOTES:

- SUBCONTRACTORS TO COORDINATE WITH THE G.C. & OWNER.
- ALL EXTERIOR AND INTERIOR FINISHES TO BE APPROVED BY OWNER - FOR EXAMPLE (NOT LIMITED TO THE FOLLOWING LIST):
 - EXTERIOR FINISHES - MASONRY, SIDING SHINGLE STYLE, SIDING LAP, ROOFING, METAL ROOFING, WINDOWS & ETC.
 - INTERIOR FINISHES - FIREPLACE FIREBOX INTERIOR FINISH AND PATTERN, HEARTH, MANTEL, MILLWORK, DOOR PANEL TYPES, TRIMWORK, FLOORING, CABINETRY, COUNTERTOPS, TILE, HARDWARE, PLUMBING FIXTURES, PLUMBING FITTINGS, APPLIANCES & ETC.
- HVAC SYSTEM TYPE AND COMPONENTS TO BE REVIEWED AND APPROVED BY OWNER PRIOR TO PURCHASE, FABRICATION AND INSTALLATION OF SYSTEM.

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ANY CHANGE OR DEVIATION FROM THESE PLANS BY THE OWNER, CONTRACTOR OR BUILDER SHALL BE RELEASED. THE ARCHITECT AND/OR ENGINEER FROM ANY AND ALL LIABILITY RELATING THERETO, UNLESS SUCH CHANGE HAS BEEN APPROVED BY THE ARCHITECT AND/OR ENGINEER.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. IN- STAGE CONSTRUCTION SHORING OR TEMPORARY BRACING. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

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GENERAL NOTES
BROOKS RESIDENCE
200 PARSONS ROAD
LONDON BRITAIN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA 19350

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THE ARCHITECT AND/OR ENGINEER CANNOT BE RESPONSIBLE FOR EXISTING CONDITIONS OR THE ACCURATE MEASUREMENT OF SAME. THE ARCHITECT AND/OR ENGINEER SHALL INVESTIGATE AND RECORD ALL DISCREPANCIES AND CONDITIONS PRIOR TO BIDDING. COMMENTARY OF THIS SHALL CONSTITUTE ACCEPTANCE OF THE CONDITIONS.

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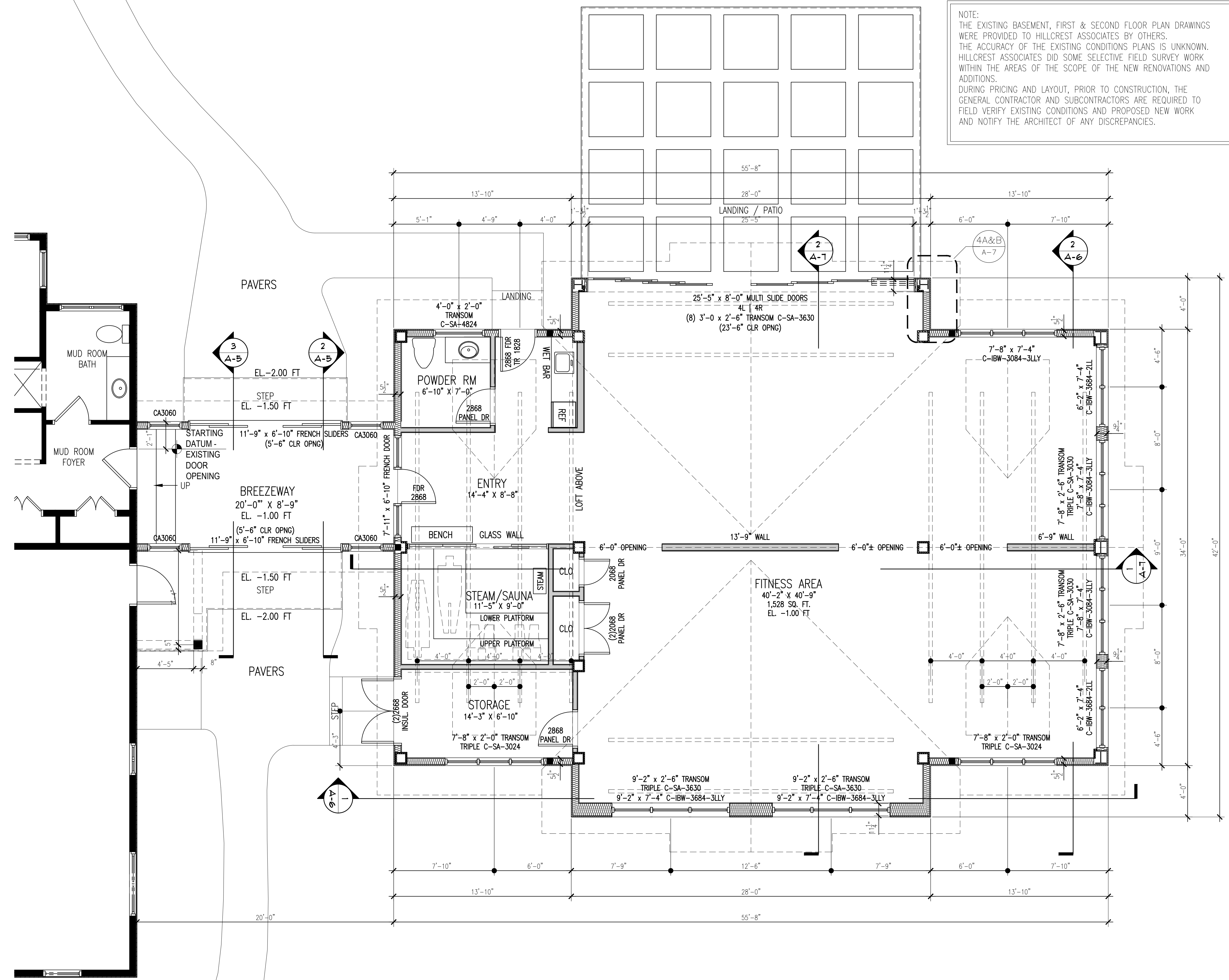
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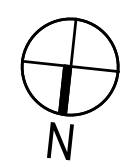
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NOTE:
THE EXISTING BASEMENT, FIRST & SECOND FLOOR PLAN DRAWINGS WERE PROVIDED TO HILLCREST ASSOCIATES BY OTHERS. THE ACCURACY OF THE EXISTING CONDITIONS PLANS IS UNKNOWN. HILLCREST ASSOCIATES DID SOME SELECTIVE FIELD SURVEY WORK WITHIN THE AREAS OF THE SCOPE OF THE NEW RENOVATIONS AND ADDITIONS. DURING PRICING AND LAYOUT, PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE REQUIRED TO FIELD VERIFY EXISTING CONDITIONS AND PROPOSED NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

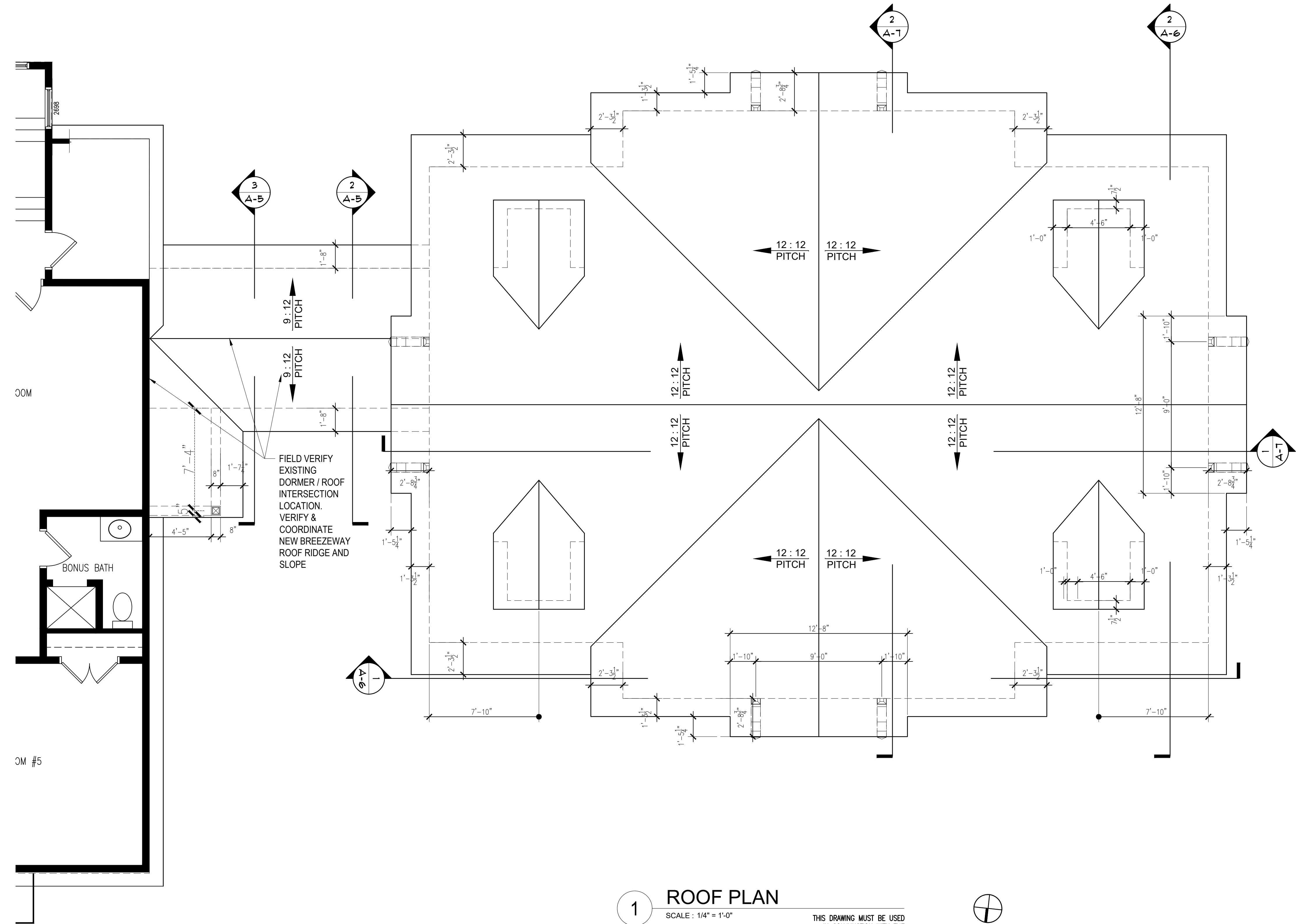
1 FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"
THIS DRAWING MUST BE USED IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS



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GC NOTE:
EXTERIOR WALLS BELOW ROOF ARE SHOWN FOR REFERENCE ONLY.
SEE FOUNDATION, FIRST & SECOND FLOOR PLANS FOR ALL DIMENSIONS,
EXCEPT AS NOTED, TYPICAL.

ROOF PLAN DIMENSIONS INDICATED ARE FROM OUTSIDE FACE OF
EXTERIOR SHEATHING TO :
• FINISH EDGE OF EAVE TRIM AT EXPOSED RAFTER TAIL LOCATIONS.
OR
• FACE OF FASCIA AT SOFFITS, TYPICAL.
SEE ELEVATIONS, BUILDING SECTIONS & ALSO DETAILS FOR SPECIFIC
CONDITION.

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OR NOT, THEY ARE NOT TO BE USED BY THE CLIENT
OR OTHERS ON OTHER PROJECTS OR EXTENSION TO
THIS PROJECT, EXCEPT BY AGREEMENT IN WRITING.
ANY CHANGE OR DEVIATION FROM THESE PLANS BY
THE OWNER, CONTRACTOR OR BUILDER SHALL
RELEASE THE ARCHITECT AND/OR ENGINEER FROM
ANY AND ALL LIABILITY RELATING THEREOF.
UNLESS SUCH CHANGE HAS BEEN APPROVED BY THE
ARCHITECT AND/OR ENGINEER.
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. IN-
STAGE CONSTRUCTION SHORING OR TEMPORARY
BRACING: ALL CONSTRUCTION MUST BE DONE IN
COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND
HEALTH ACT OF 1970 AND ALL RULES AND
REGULATIONS THERE-TO APPURTENANT.
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
CONDITIONS PRIOR TO BEGINNING CONSTRUCTION
OR WORK SHALL CONSTITUTE ACCEPTANCE OF THE
CONDITIONS.
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NOTIFY THE ARCHITECT IN WRITING WHEN A
DISCREPANCY OR CONFLICT EXISTS ON THESE PLANS
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ROOF PLAN
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200 PARSONS ROAD
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1 NORTH ELEVATION
SCALE : 1/4" = 1'-0"



2 WEST ELEVATION
SCALE : 1/4" = 1'-0"

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ELEVATIONS
BROOKS RESIDENCE
200 PARSONS ROAD
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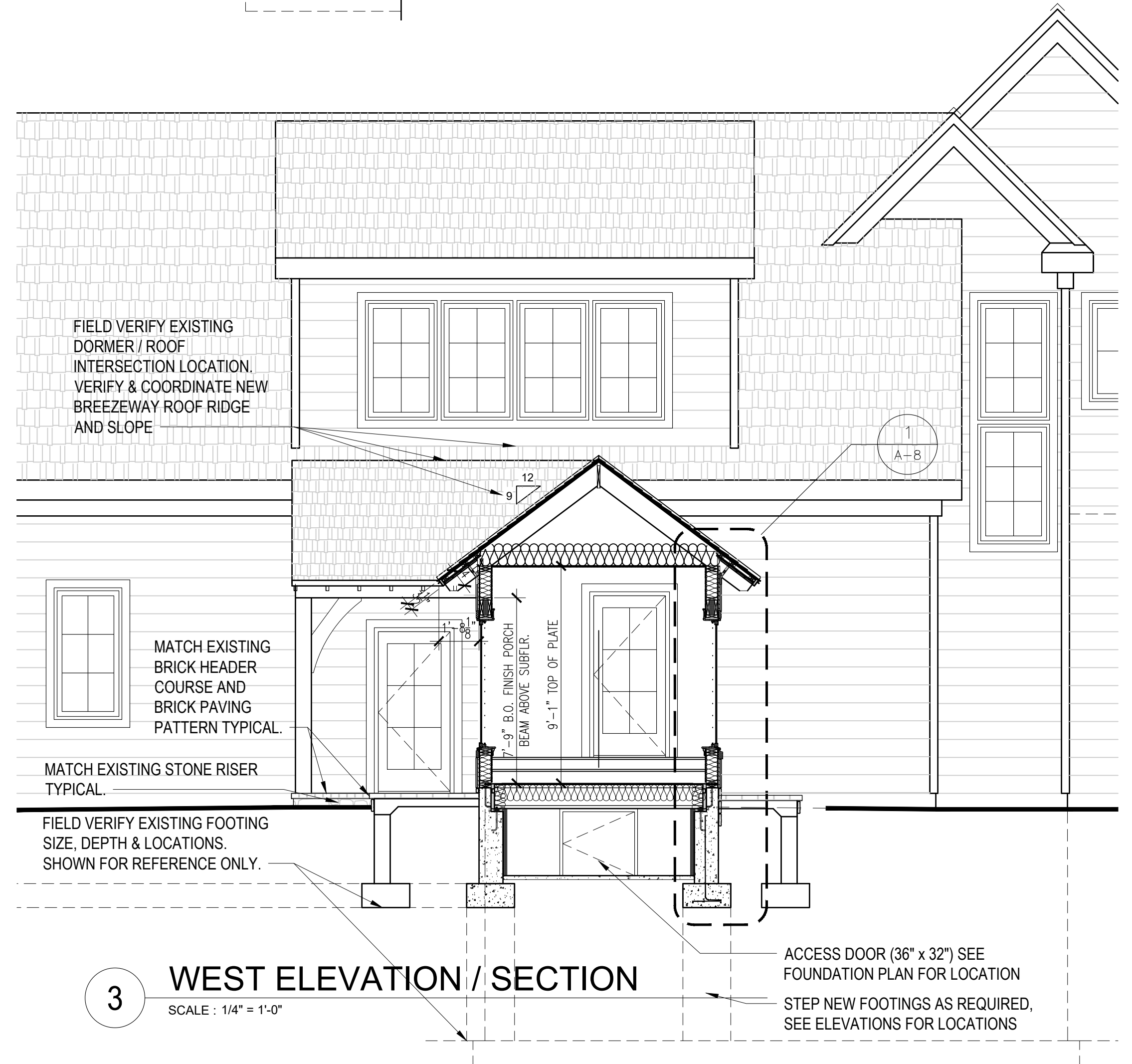


SOUTH ELEVATION
SCALE : 3/8"=1'-0"

1 SOUTH ELEVATION
SCALE : 1/4" = 1'-0"



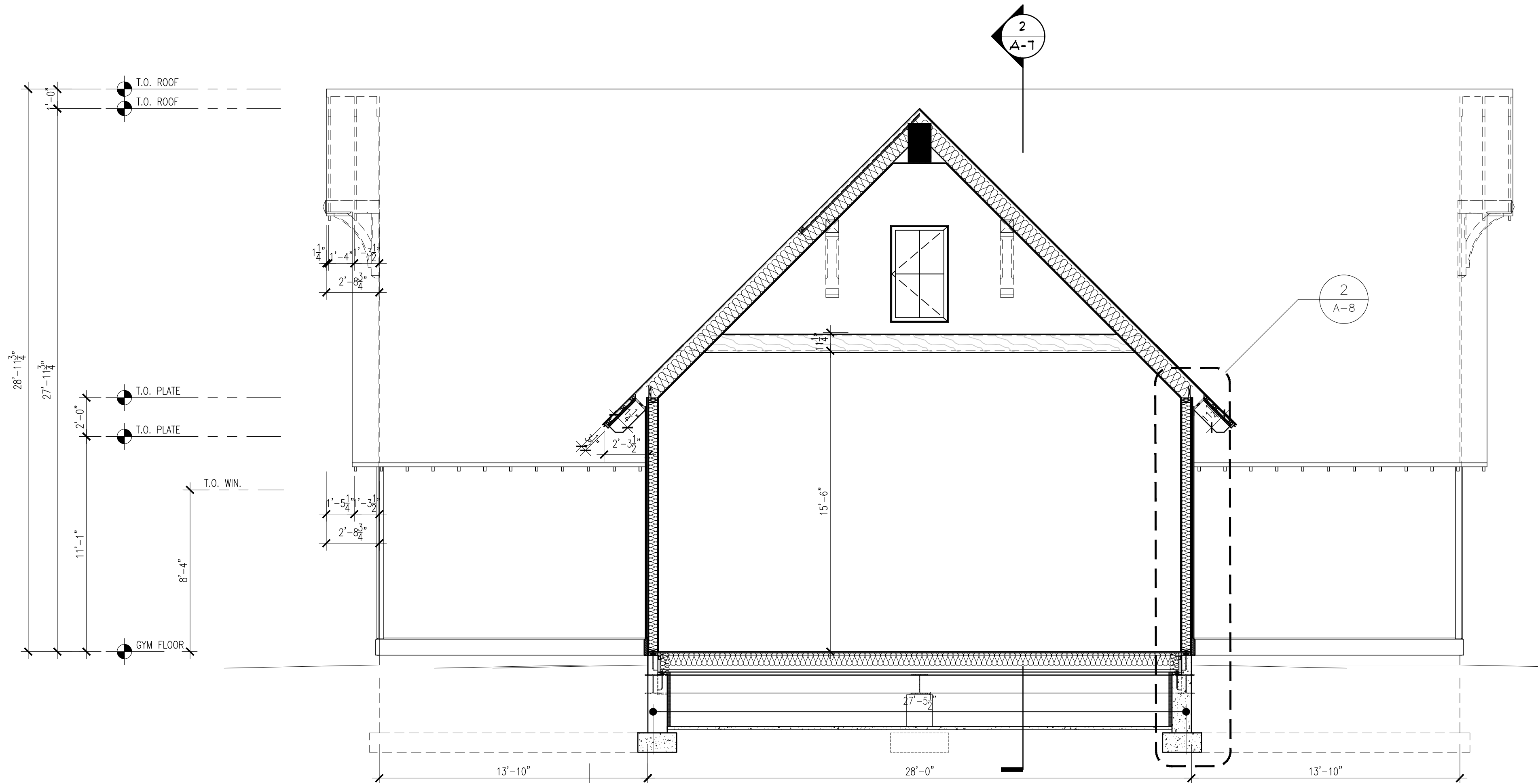
2 EAST ELEVATION
SCALE : 1/4" = 1'-0"



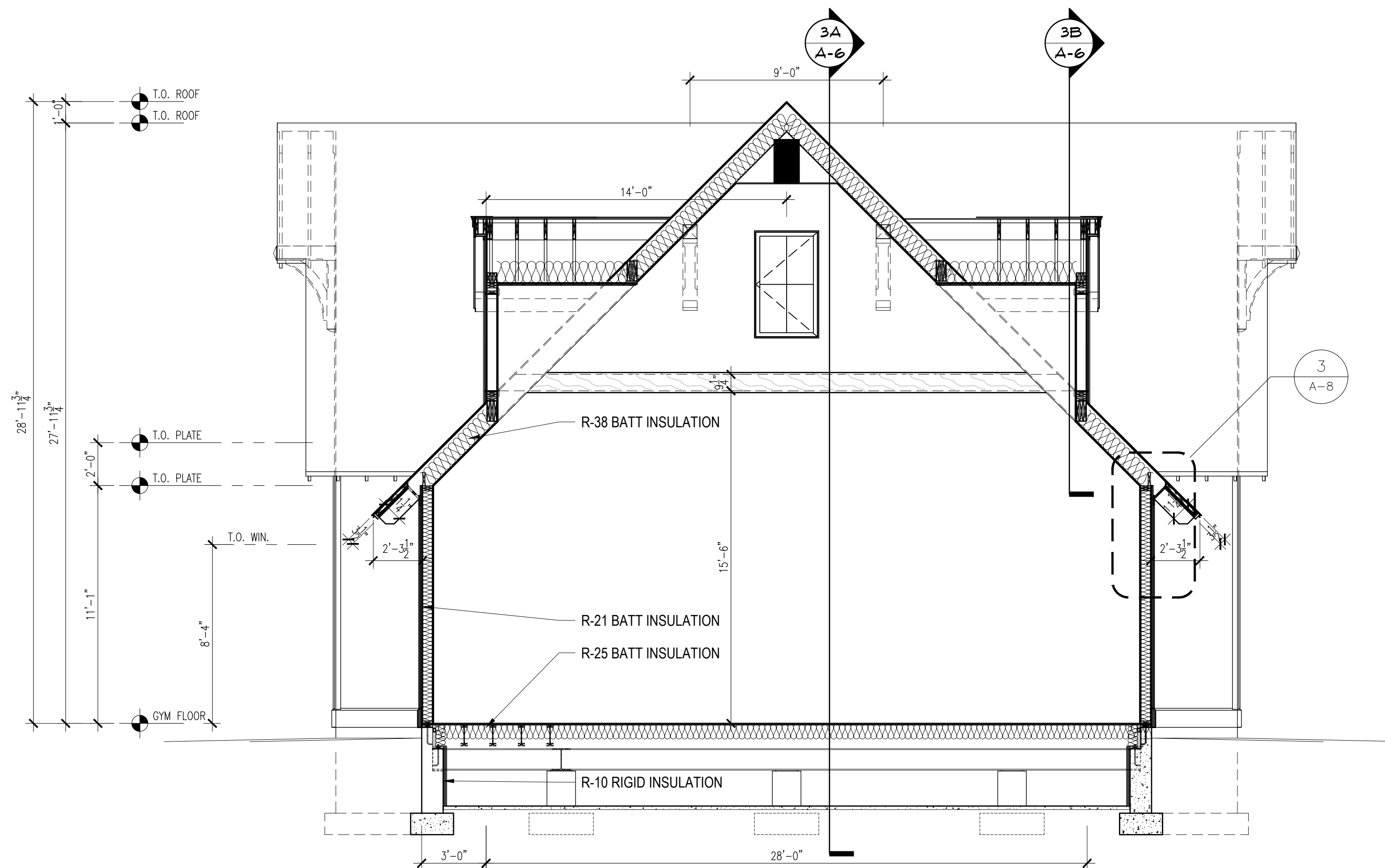
3 WEST ELEVATION / SECTION
SCALE : 1/4" = 1'-0"

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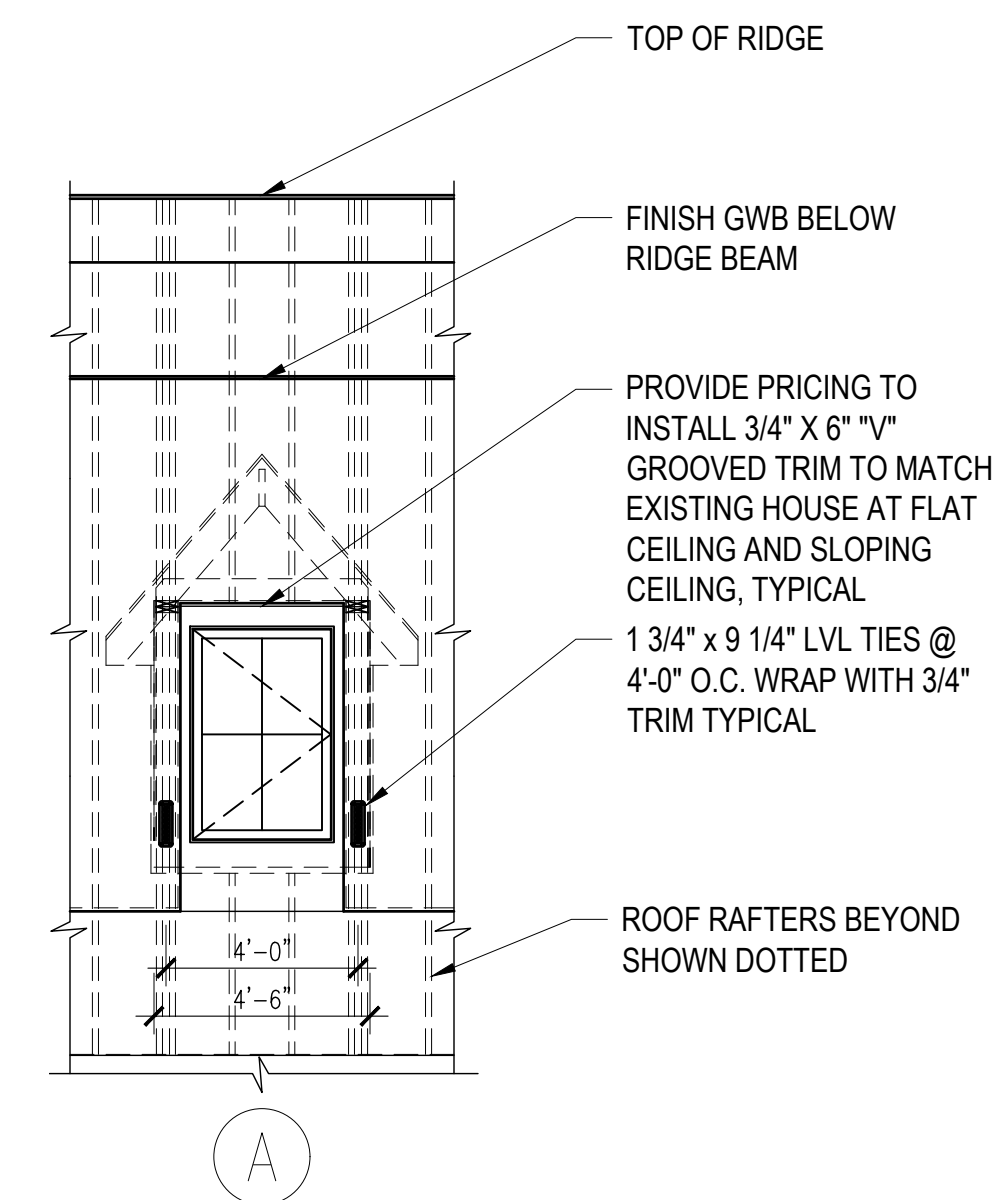
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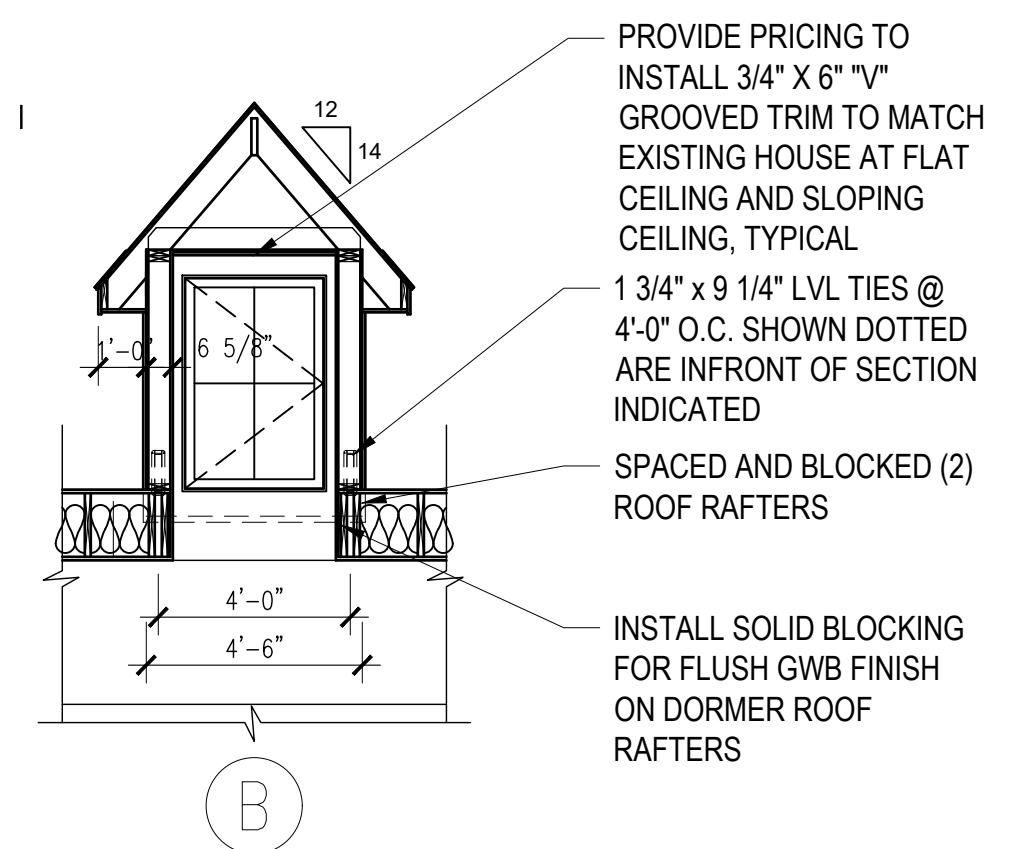
1 SECTION LOOKING SOUTH
SCALE : 1/4" = 1'-0"



2 SECTION LOOKING EAST
SCALE : 1/4" = 1'-0"



3 SECTIONS / ELEVATIONS @ DORMER
SCALE : 1/4" = 1'-0"



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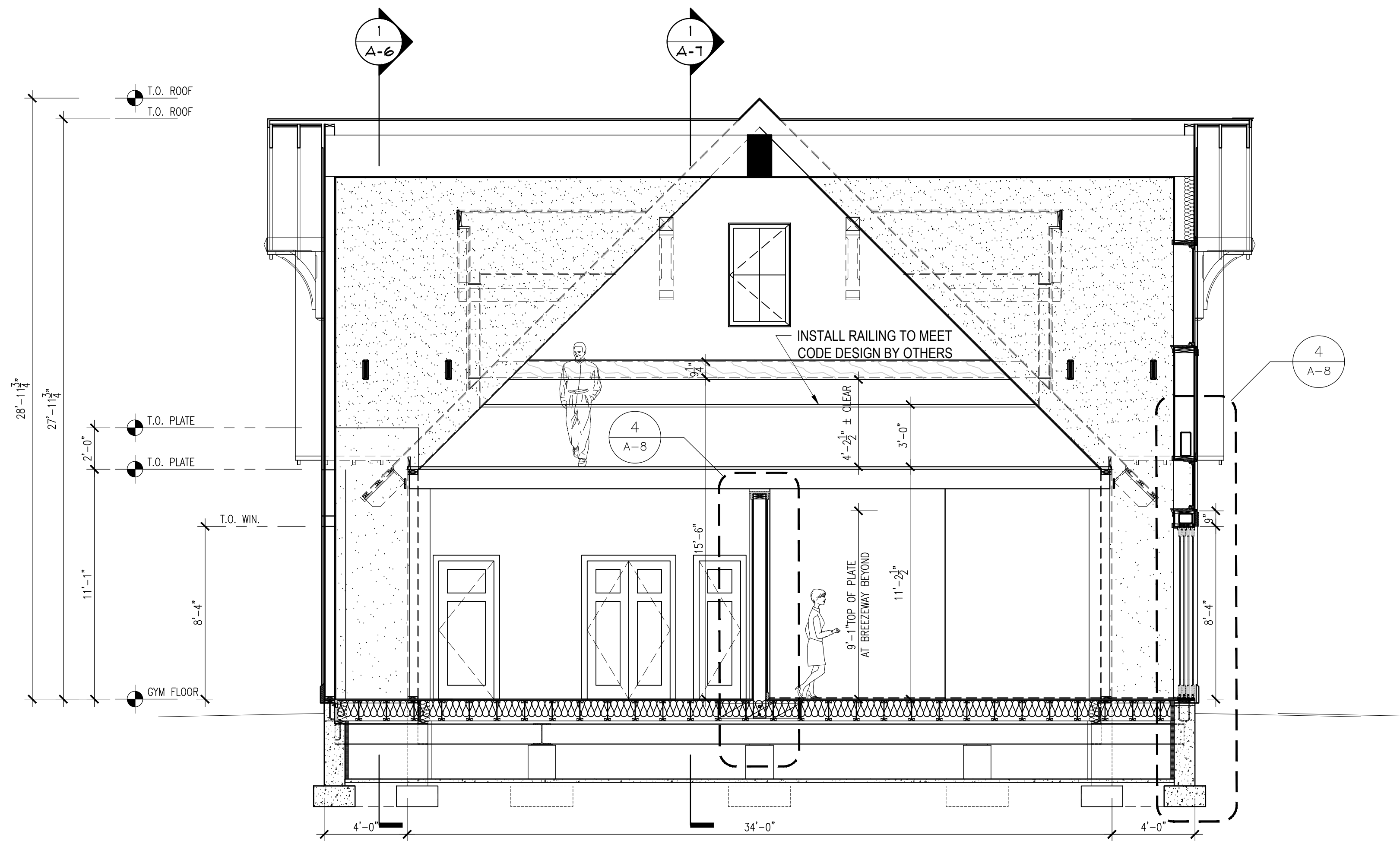
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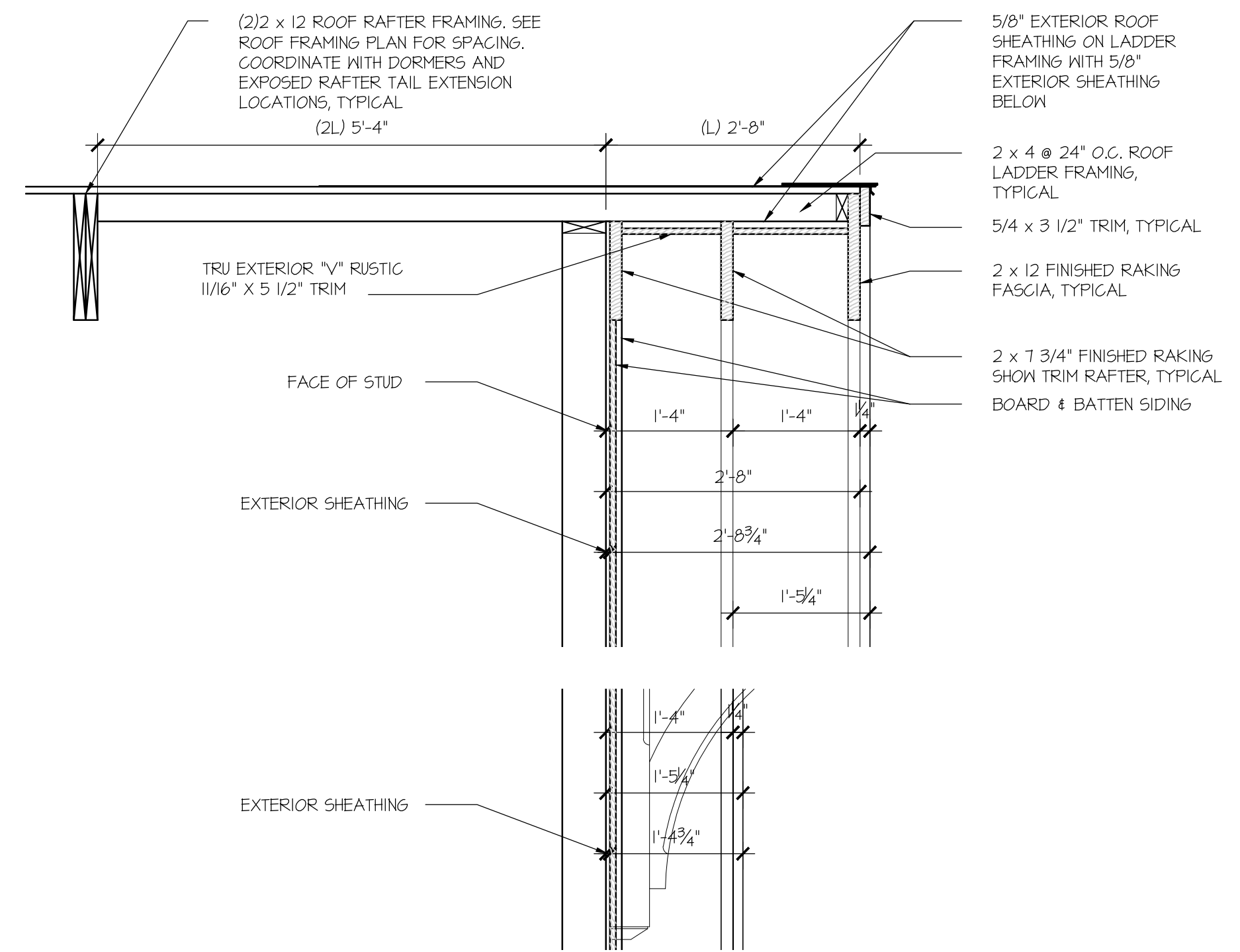
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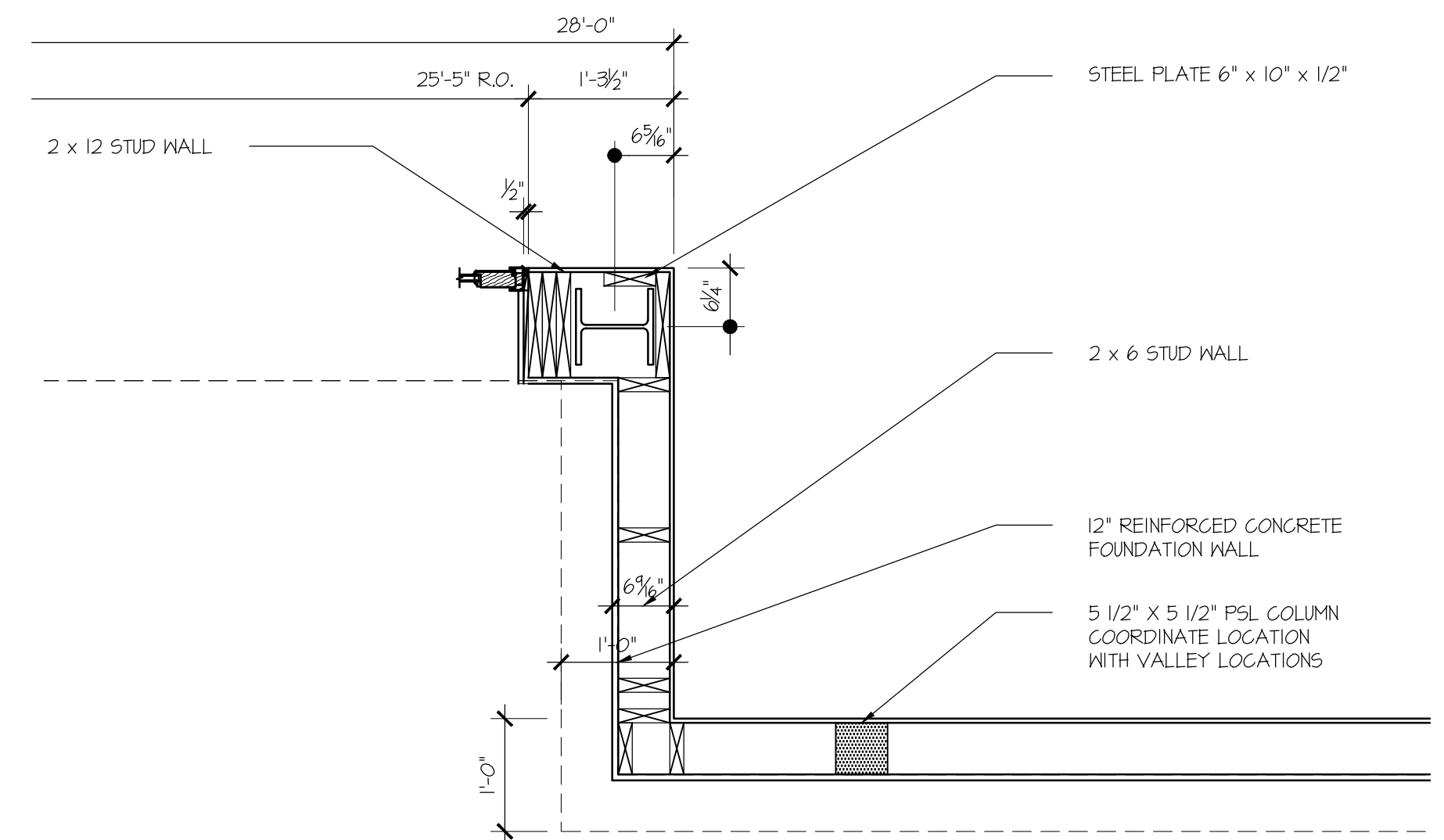
1 SECTION LOOKING SOUTH
SCALE : 1/4" = 1'-0"



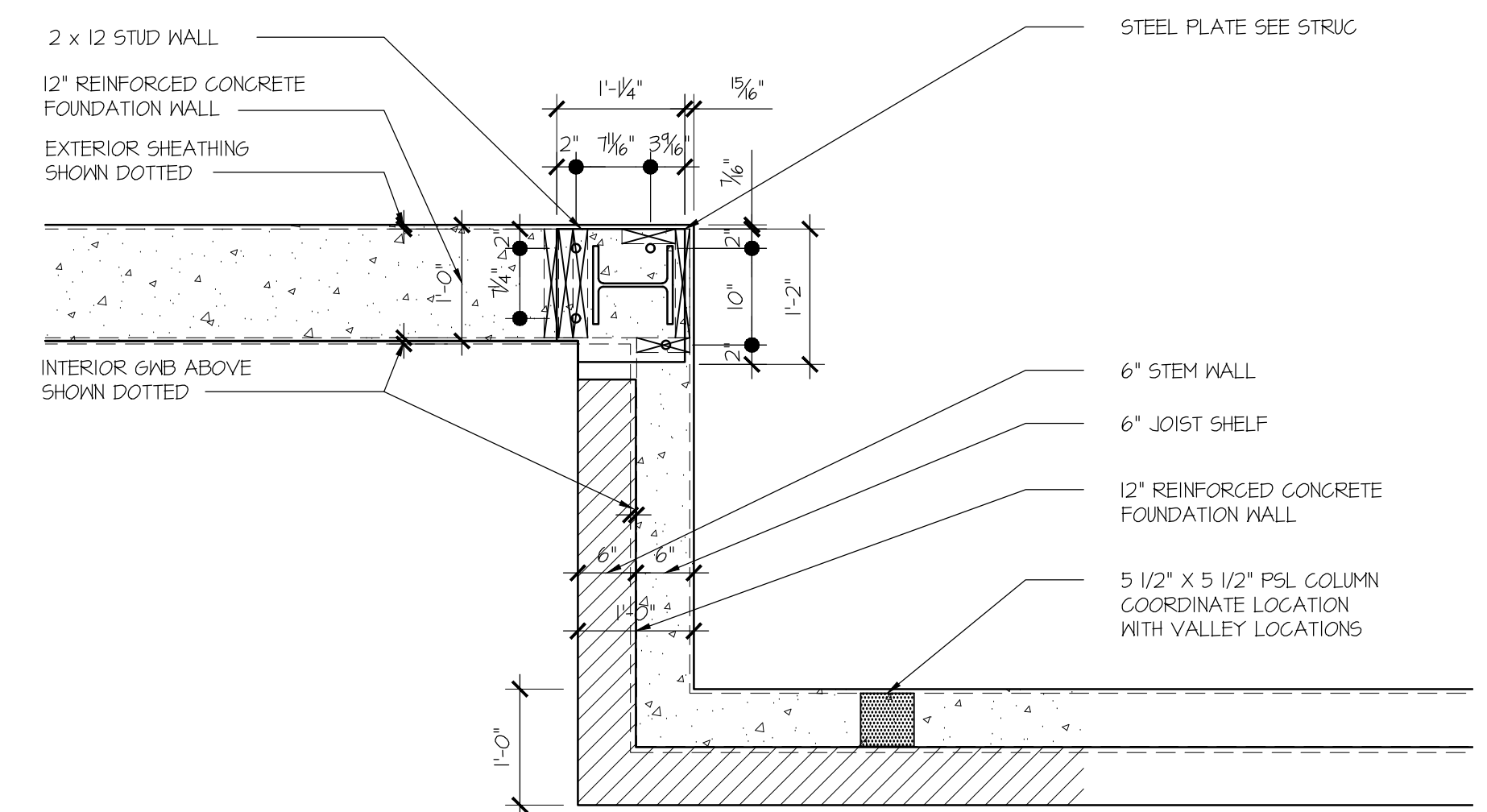
2 SECTION LOOKING EAST AT LOFT
SCALE : 1/4" = 1'-0"



3 WALL SECTION @ GABLE LADDER FRAMING
SCALE : 3/4" = 1'-0"

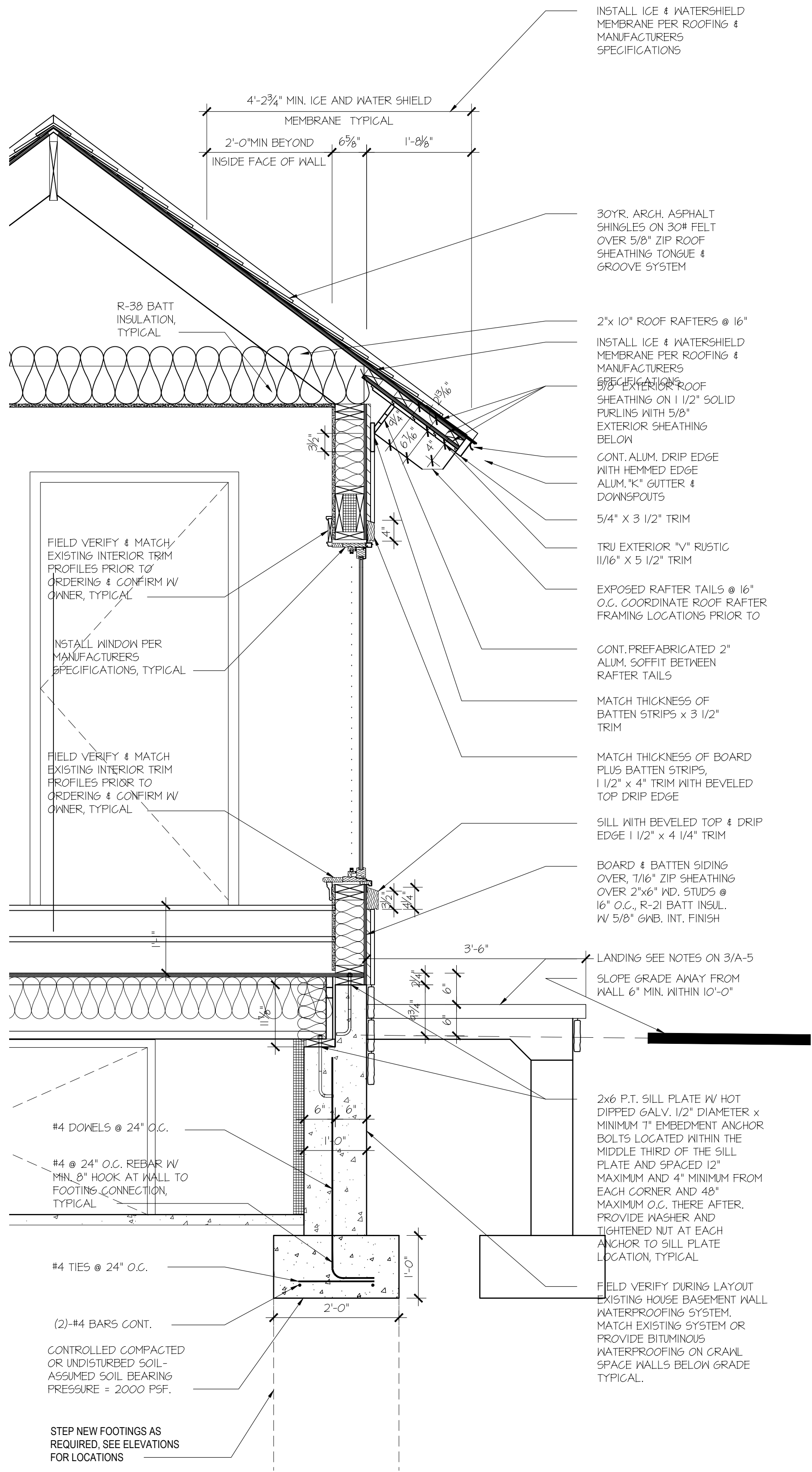


4 PLAN DETAIL "A" @ MULTI SLIDE DOOR POST
SCALE : 1/4" = 1'-0"

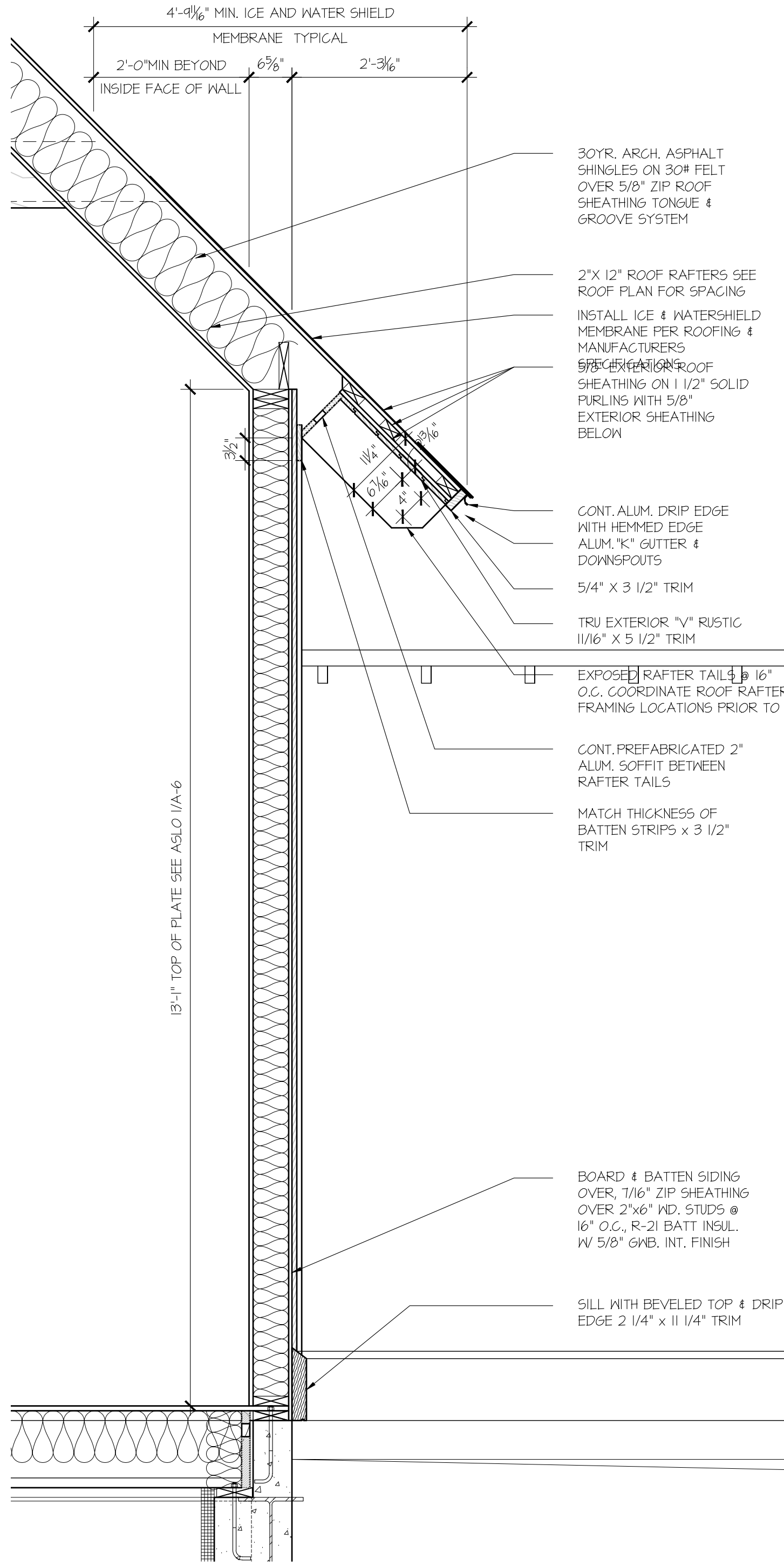


4 PLAN DETAIL "B" AT MULTI SLIDE DOOR POST
SCALE : 1/4" = 1'-0"

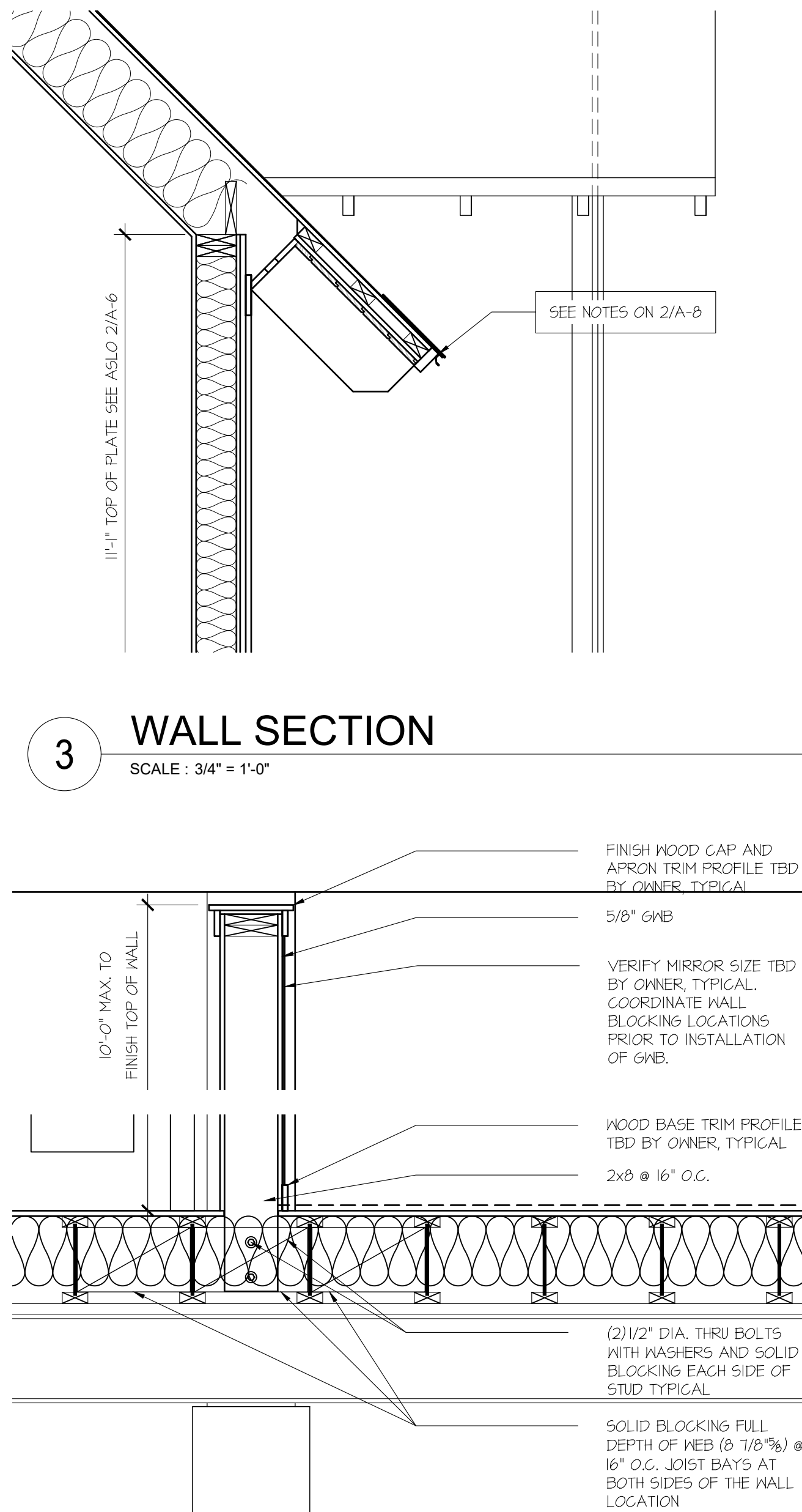
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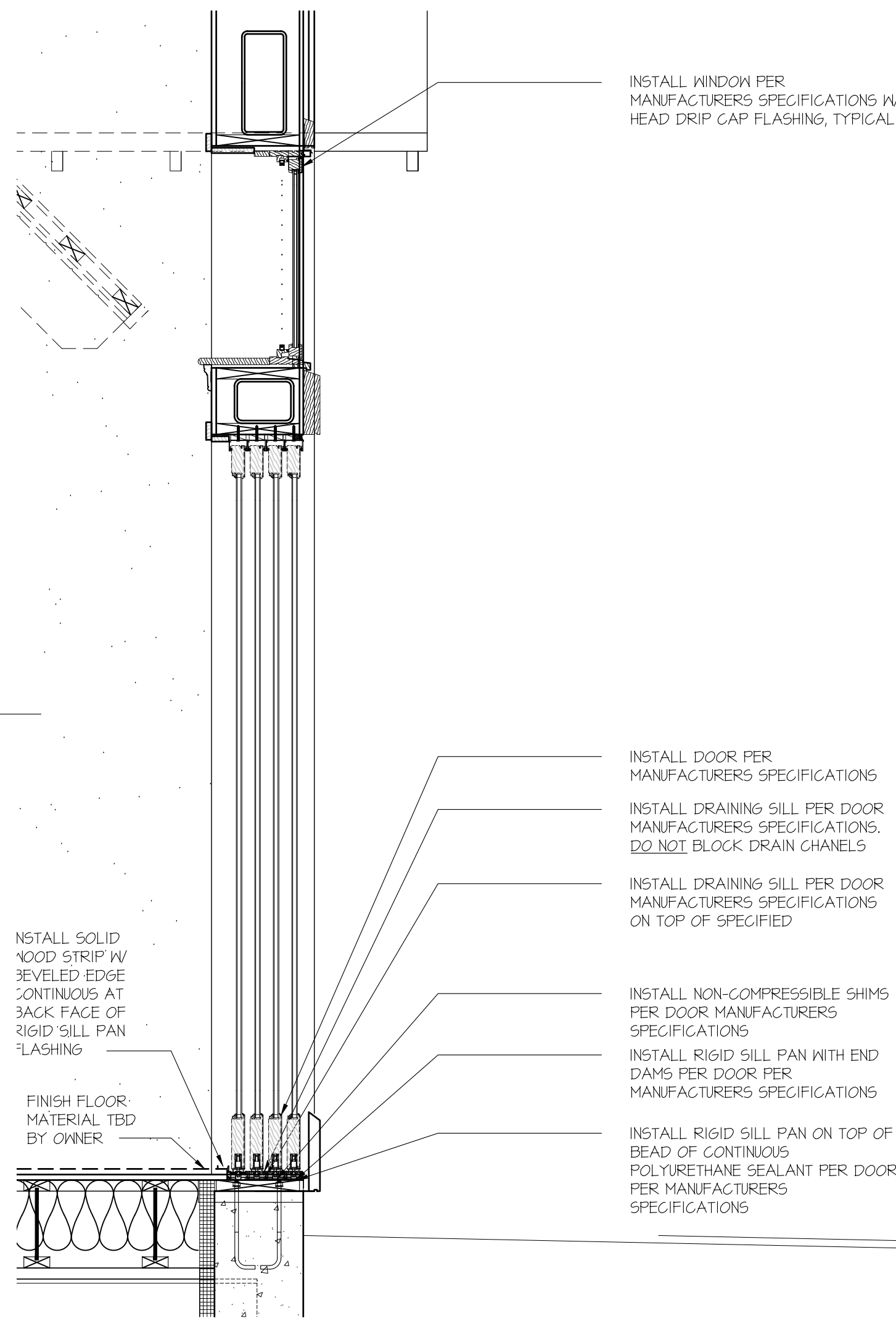
1 WALL SECTION
SCALE : 3/4" = 1'-0"



2 WALL SECTION
SCALE : 3/4" = 1'-0"



4 ACCENT WALL SECTION
SCALE : 3/4" = 1'-0"



5 WALL SECTION @ MULTI SLIDE DOOR
SCALE : 3/4" = 1'-0"

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WALL SECTIONS
BROOKS RESIDENCE
200 PARSONS ROAD
LONDON BRITAIN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA 19350

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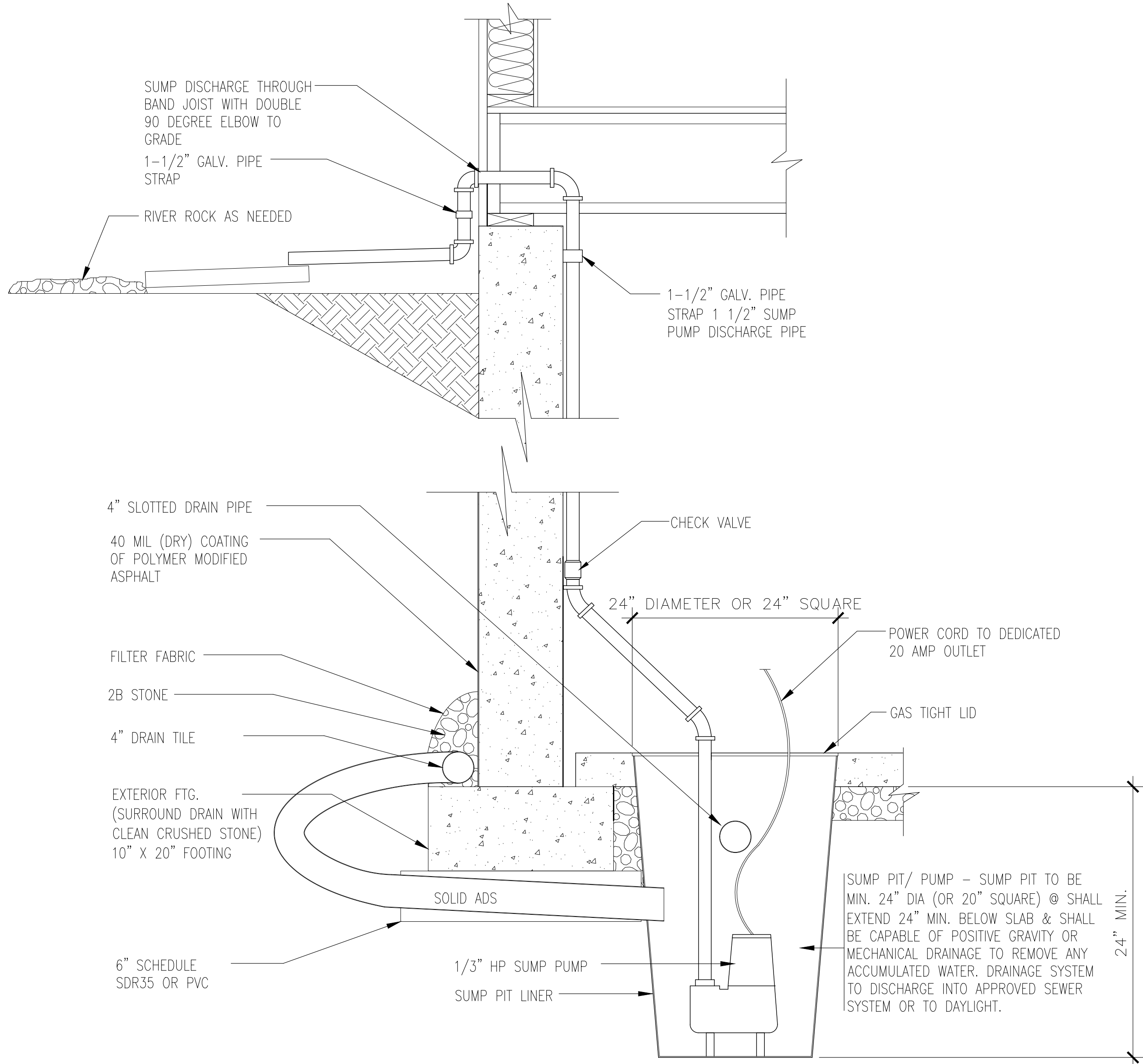
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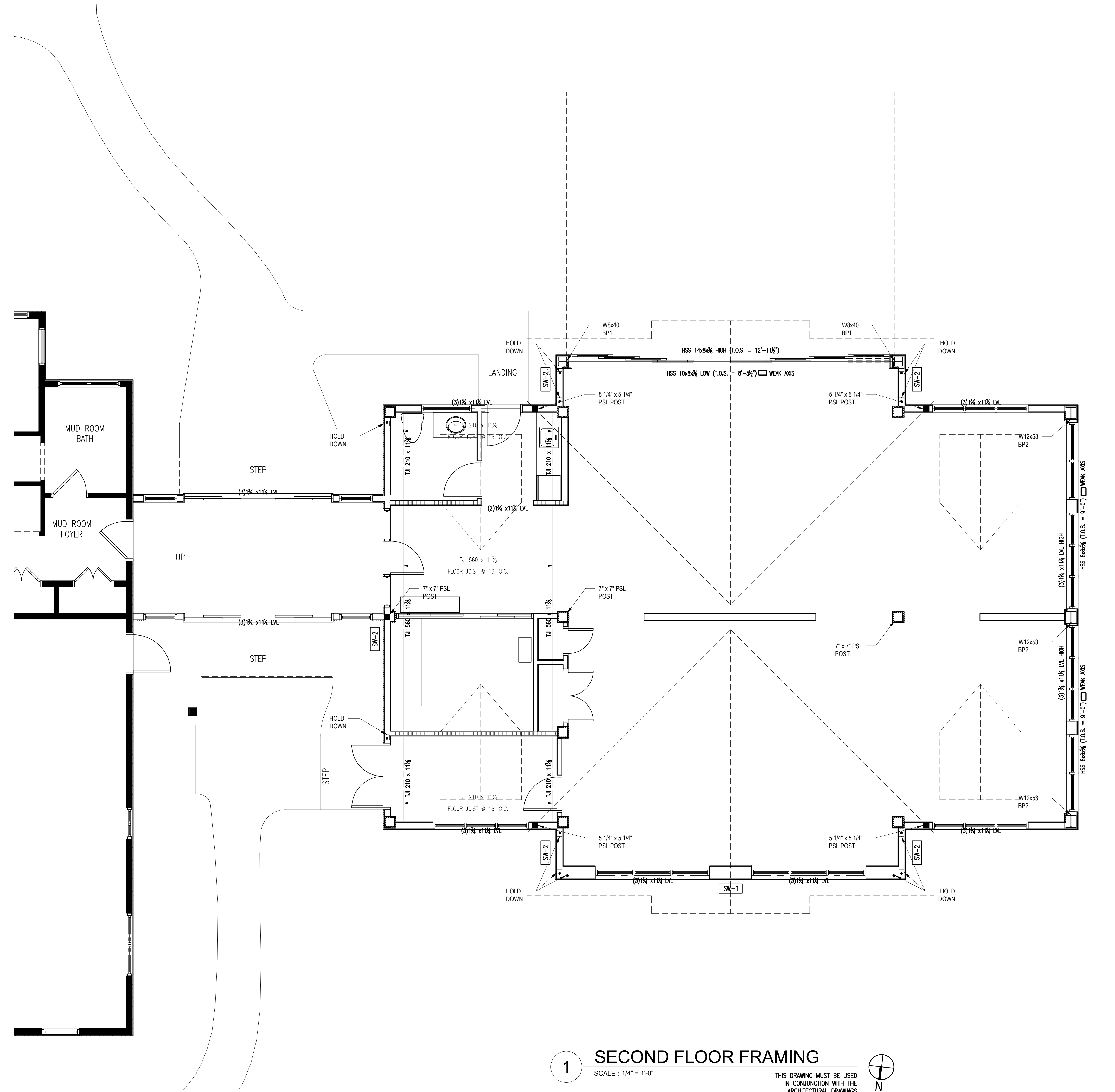
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1 SUMP PIT DETAIL
SCALE : 1" = 1'-0"

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1 SECOND FLOOR FRAMING
SCALE : 1/4" = 1'-0"

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SECOND FLOOR FRAMING

BROOKS RESIDENCE

200 PARSONS ROAD

LONDON BRITAIN TOWNSHIP

CHESTER COUNTY, PENNSYLVANIA 19350

SEAL

STRUCTURAL ENGINEER

SEAL

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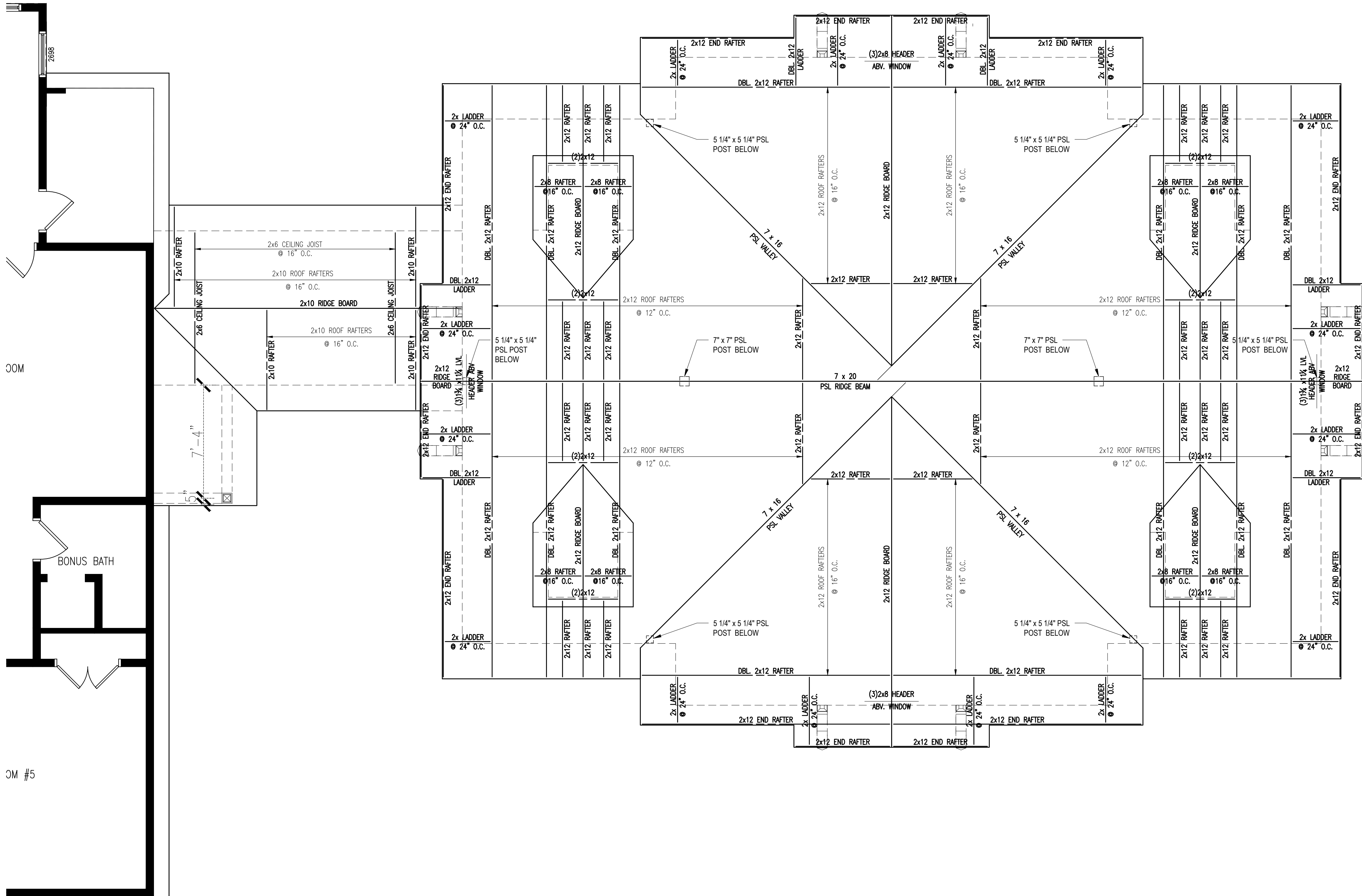
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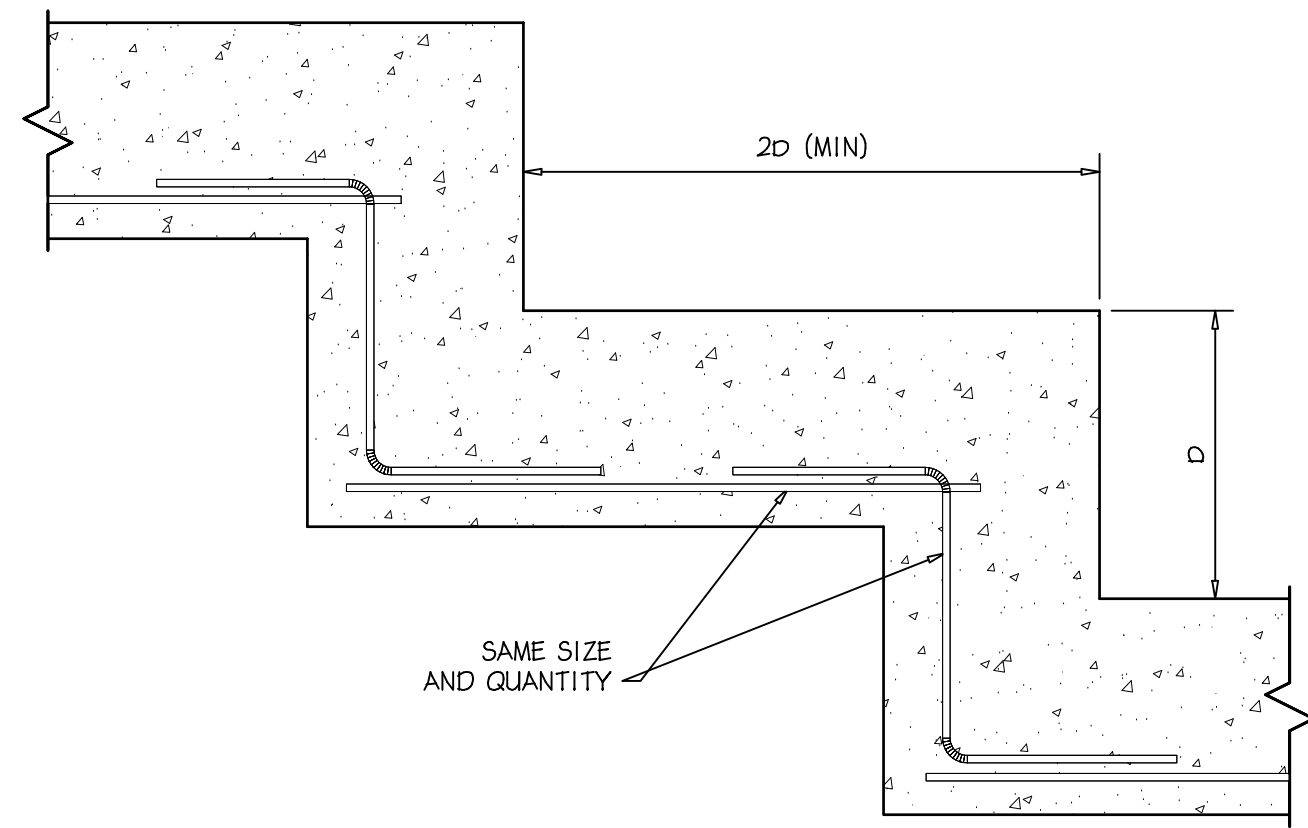


1 ROOF FRAMING PLAN

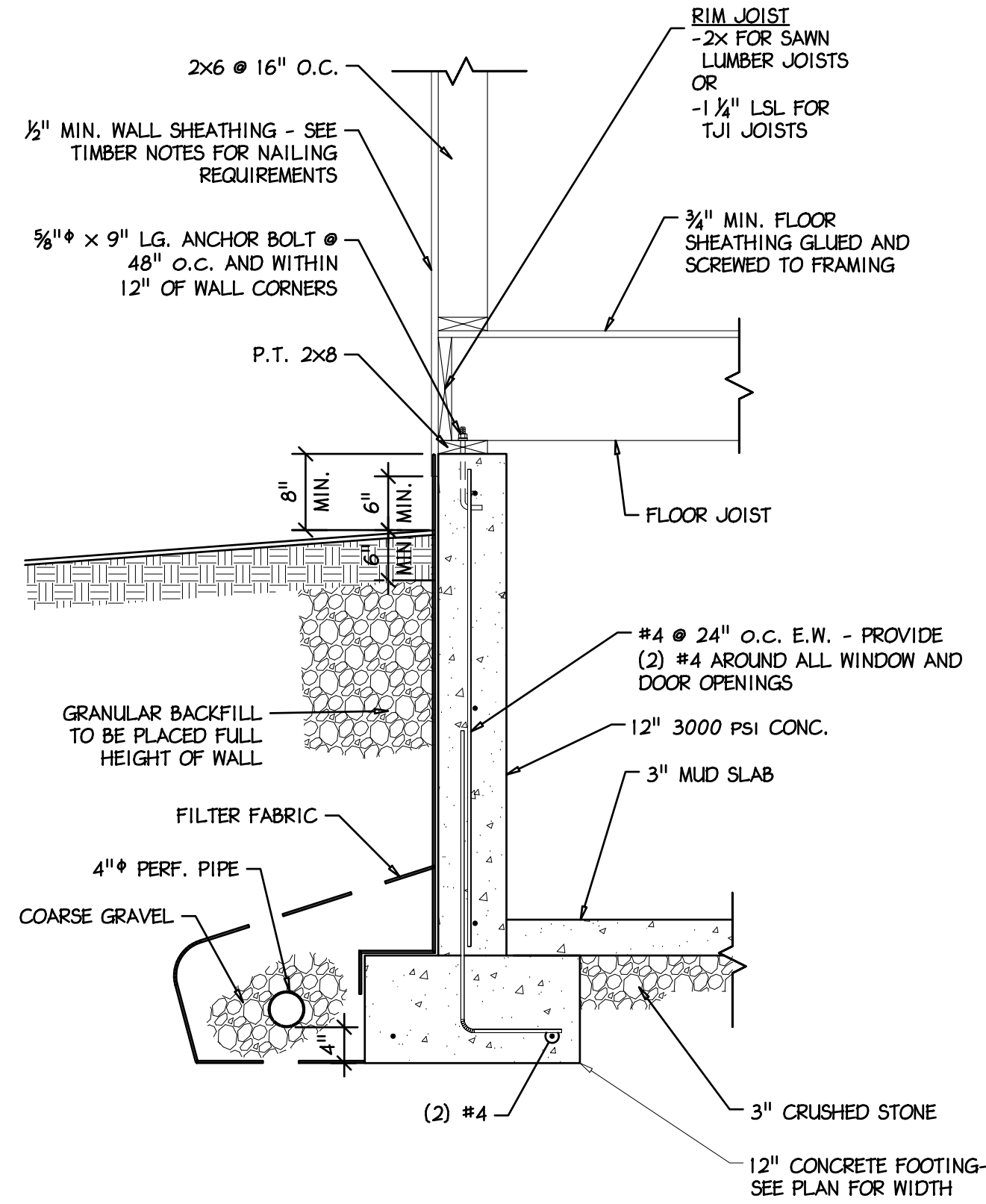
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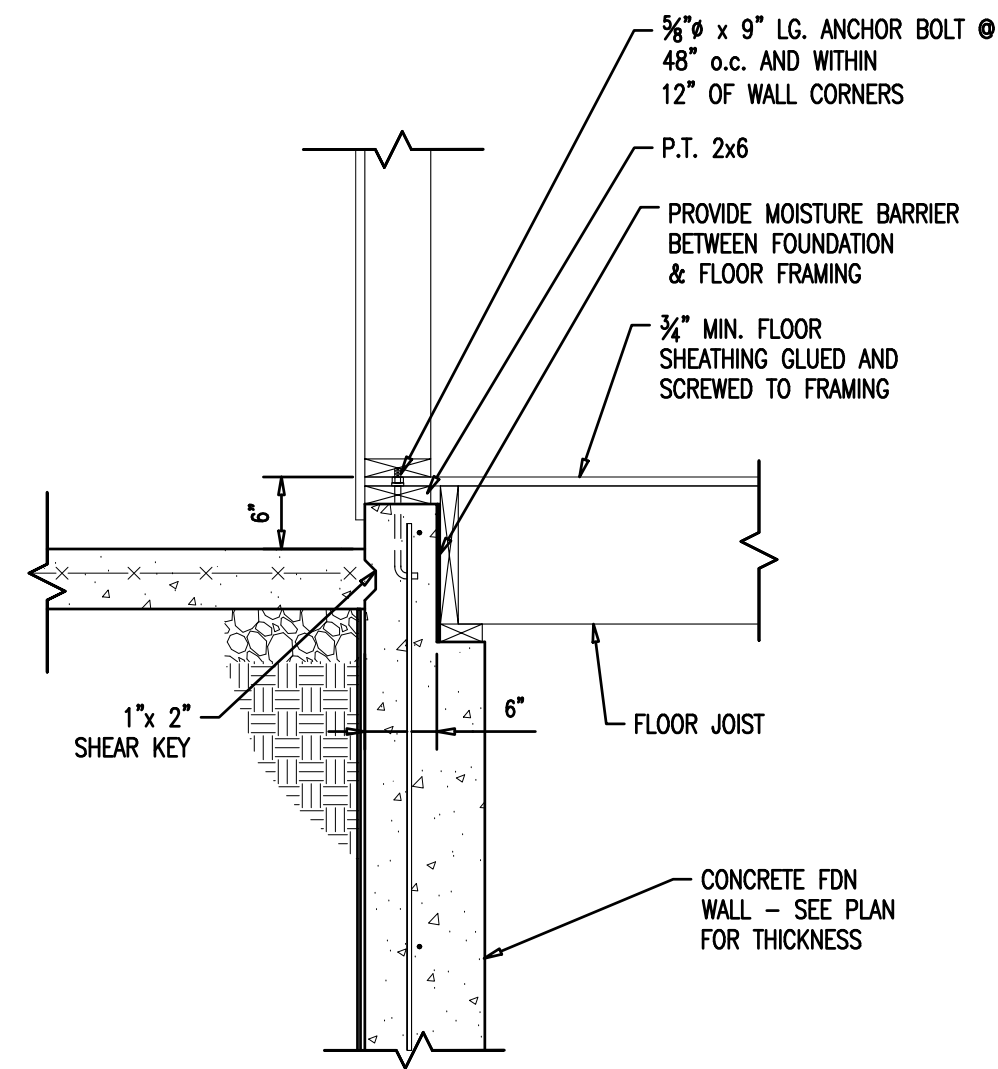
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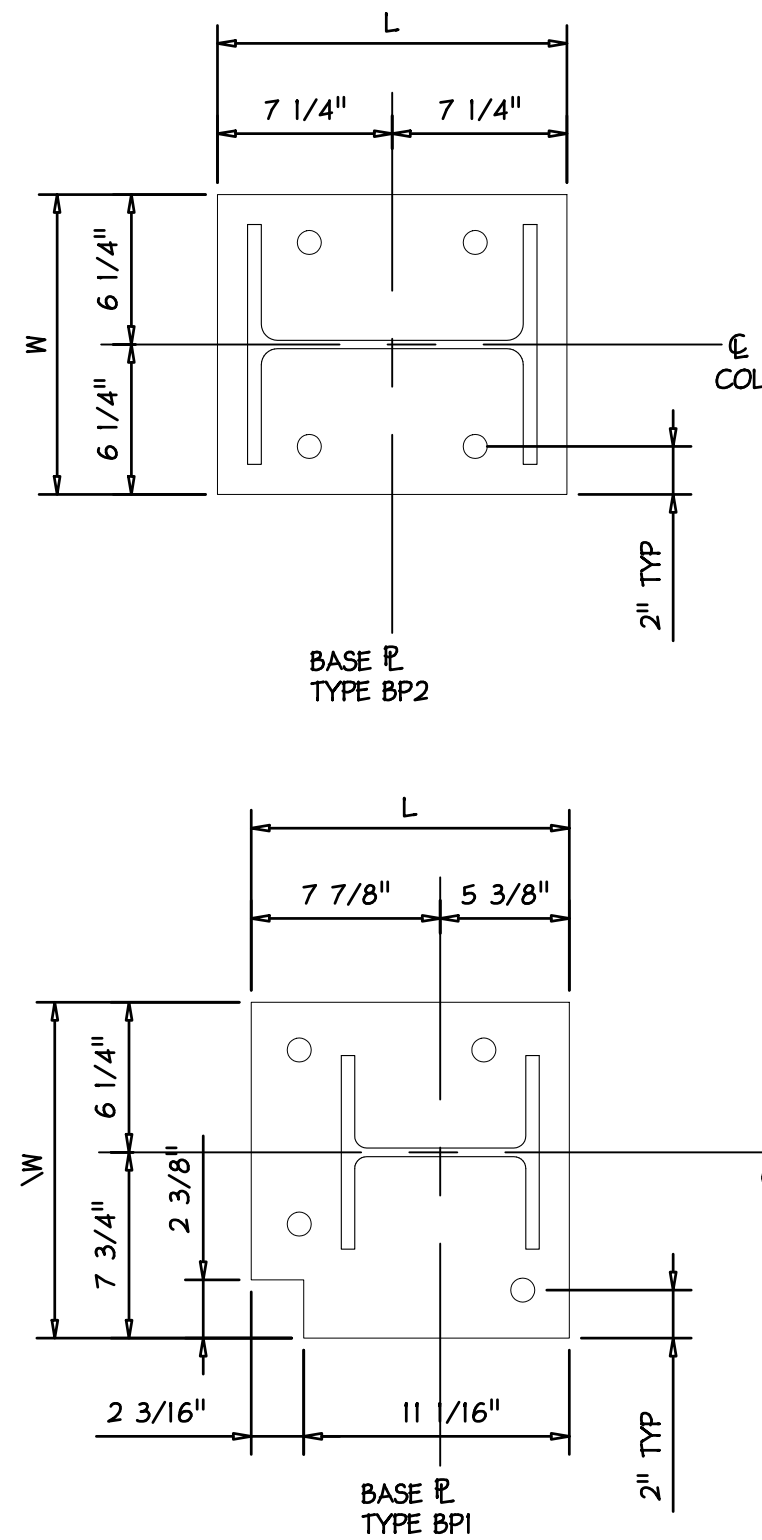
3 DETAIL - STEP FOOTING
SCALE : 3/4" = 1'-0"



2 DETAIL - CRAWLSPACE
SCALE : 3/4" = 1'-0"

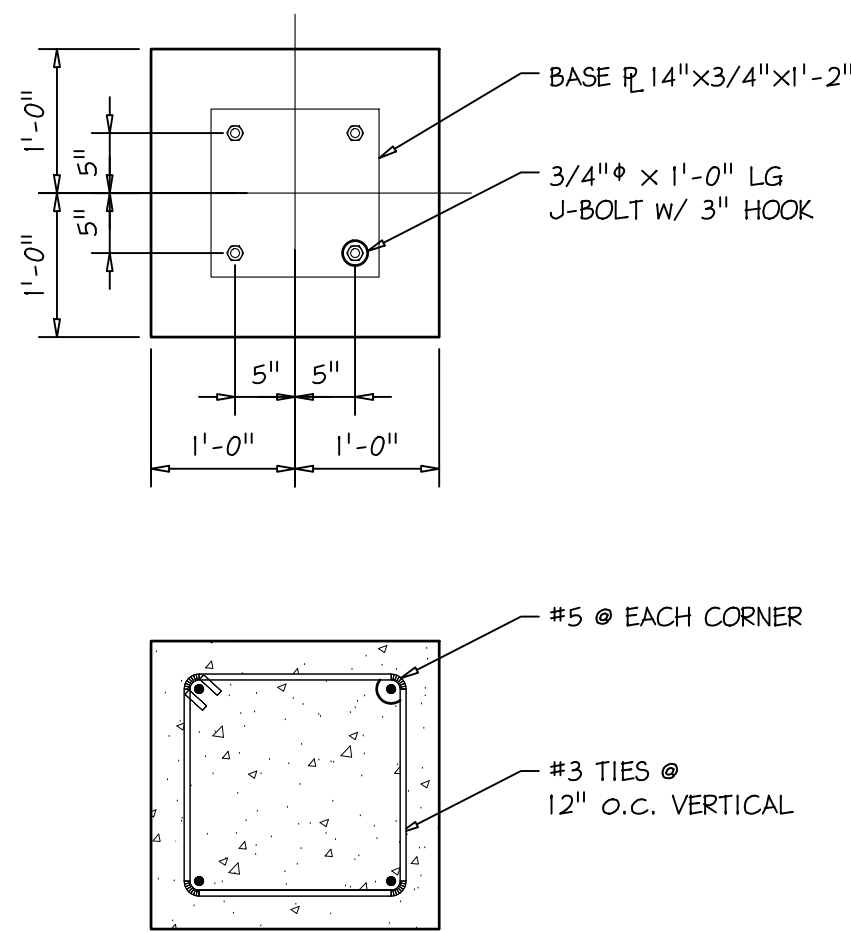
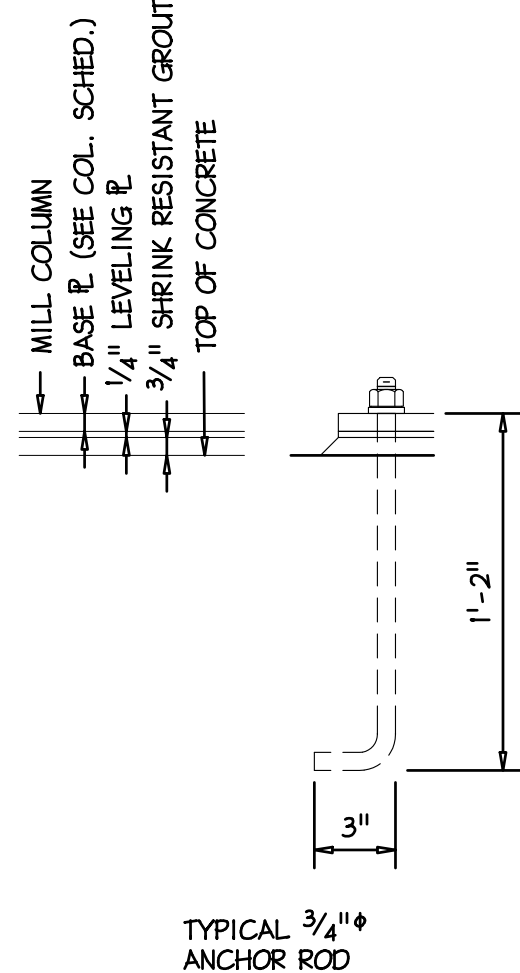


1 DETAIL - FND @ PORCH
SCALE : 3/4" = 1'-0"

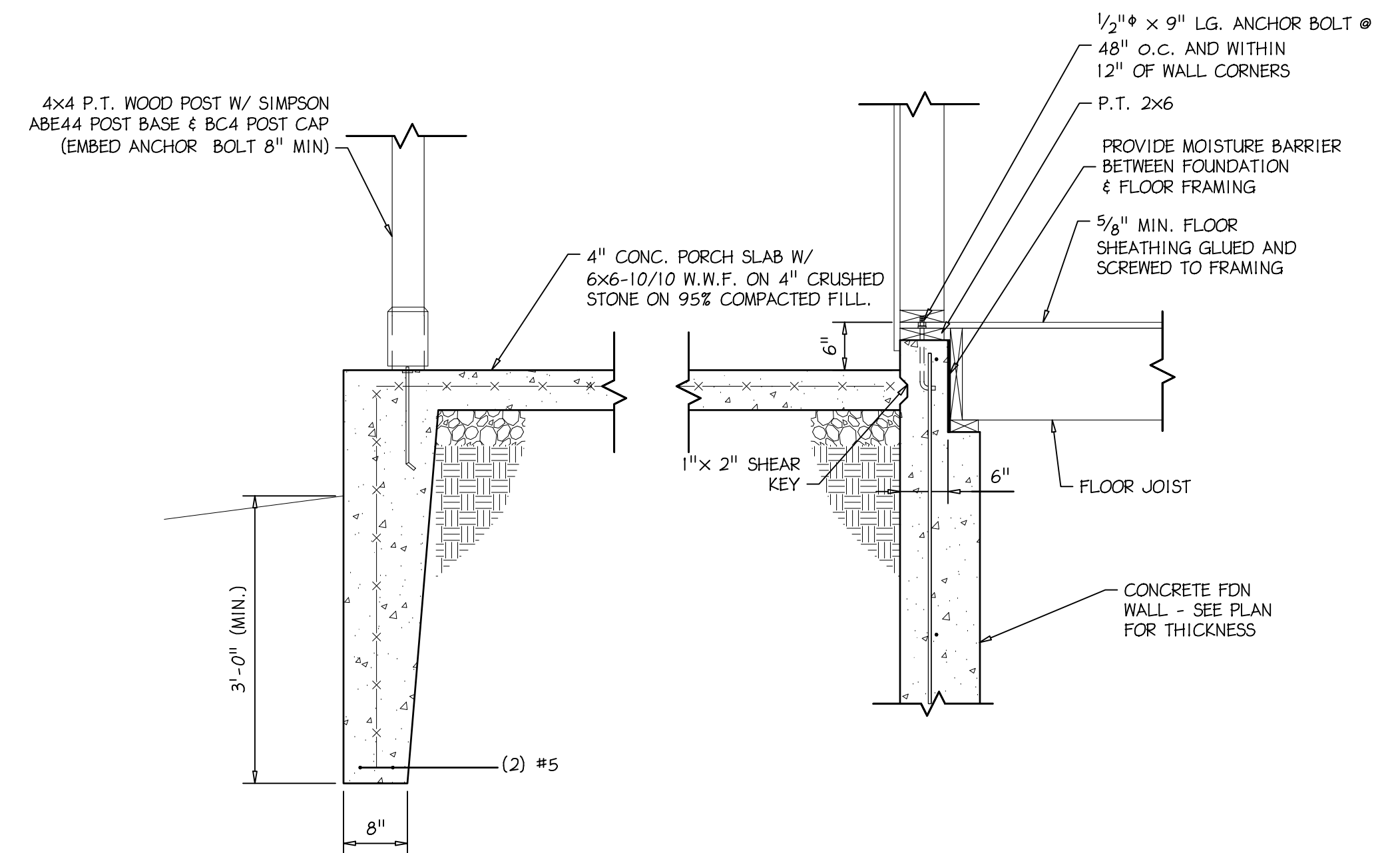


6 DETAIL - BASE PLATE
SCALE : 3/4" = 1'-0"

BEARING PLATE SCHEDULE	
MARK	DESCRIPTION
BP1	1'-1 1/2" x 1'-2"
BP2	1'-0 3/4" x 1'-2 1/2"



6 DETAIL - CONC PIER
SCALE : 3/4" = 1'-0"



5 DETAIL - PORCH TURN DOWN FOOTING
SCALE : 3/4" = 1'-0"

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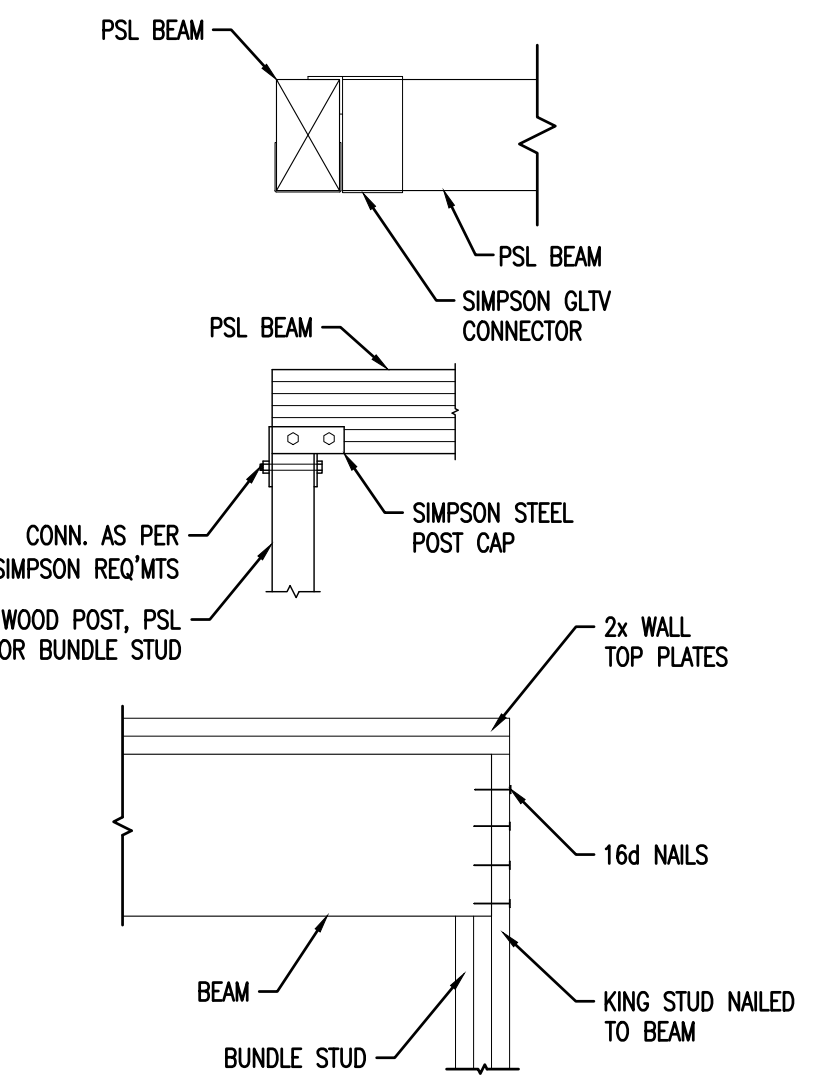
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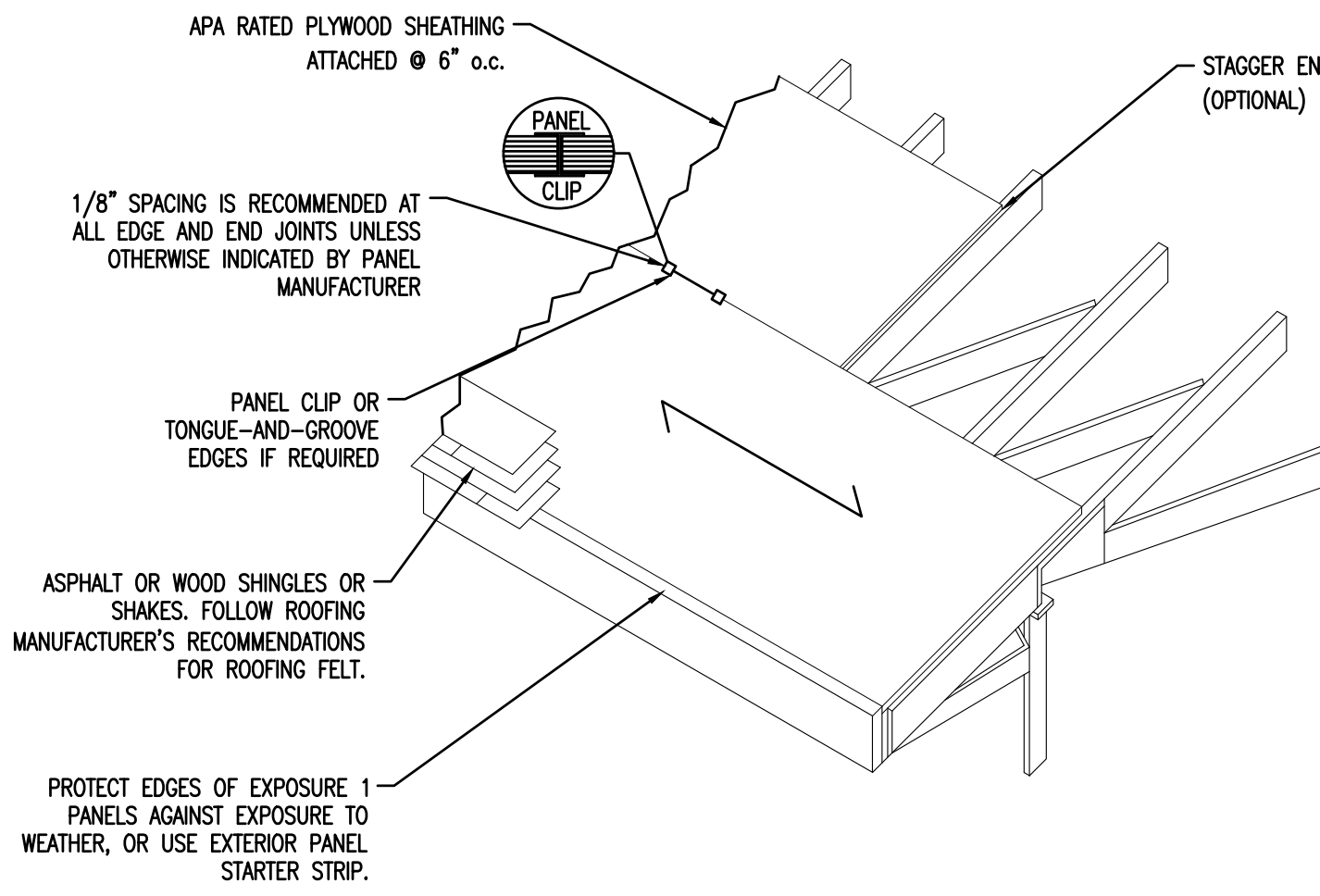
DETAILS

BROOKS RESIDENCE
200 PARSONS ROAD
LONDON BRITAIN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA 19350

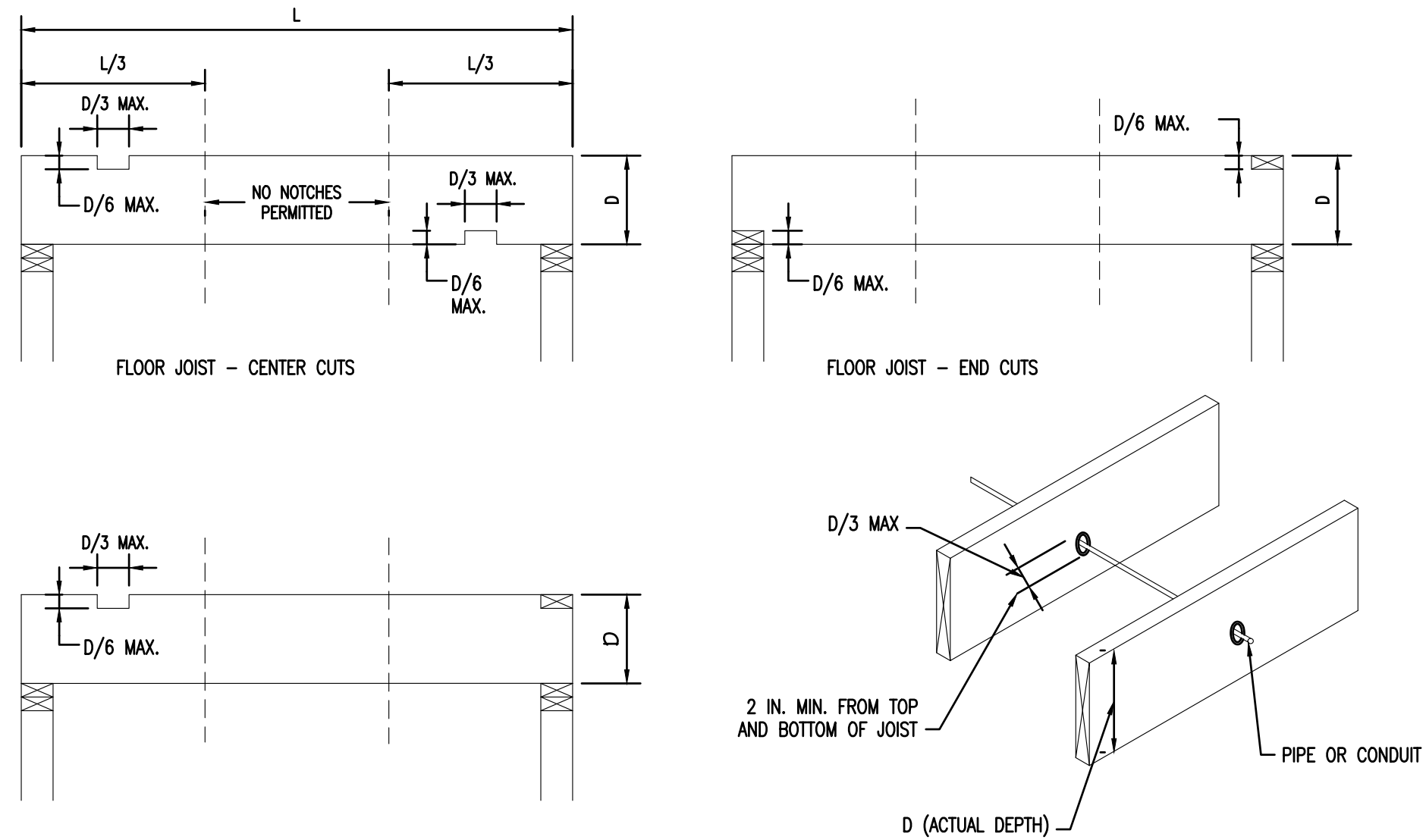
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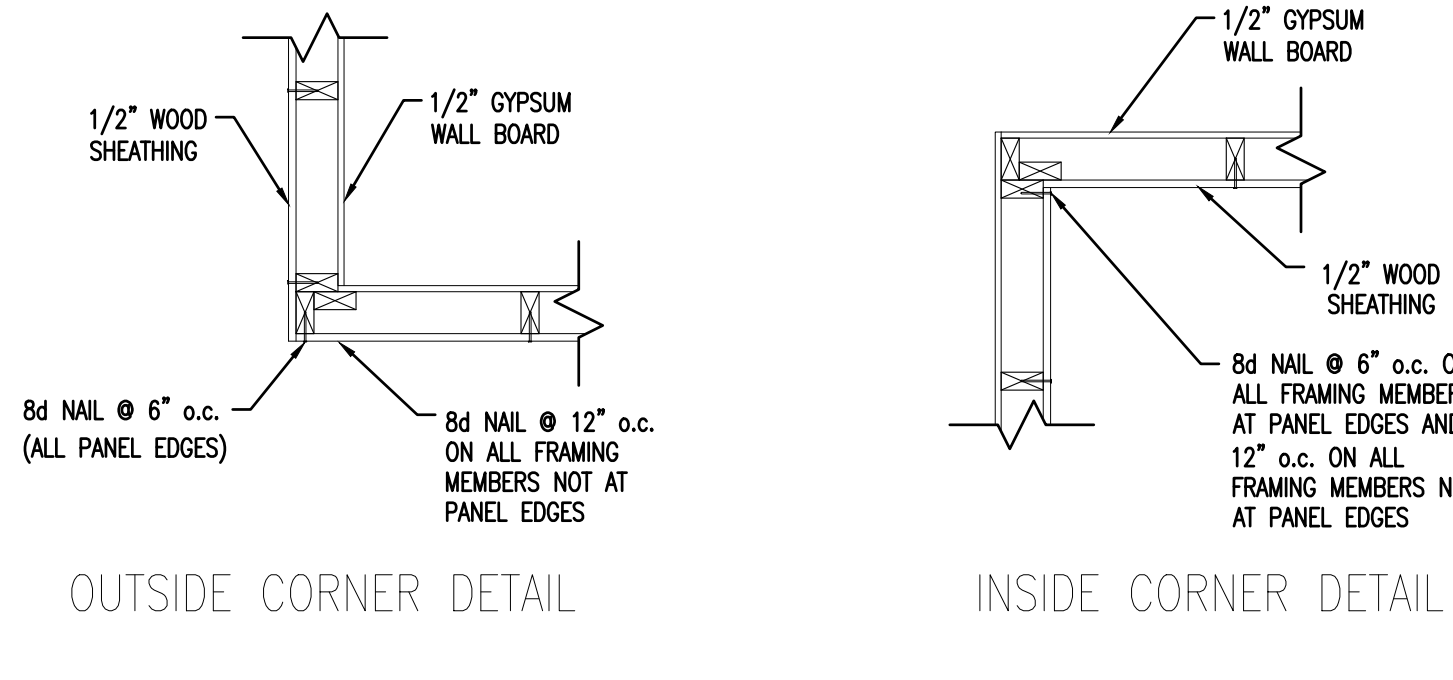
4 DTL - CONNECTION
SCALE : 3/4" = 1'-0"



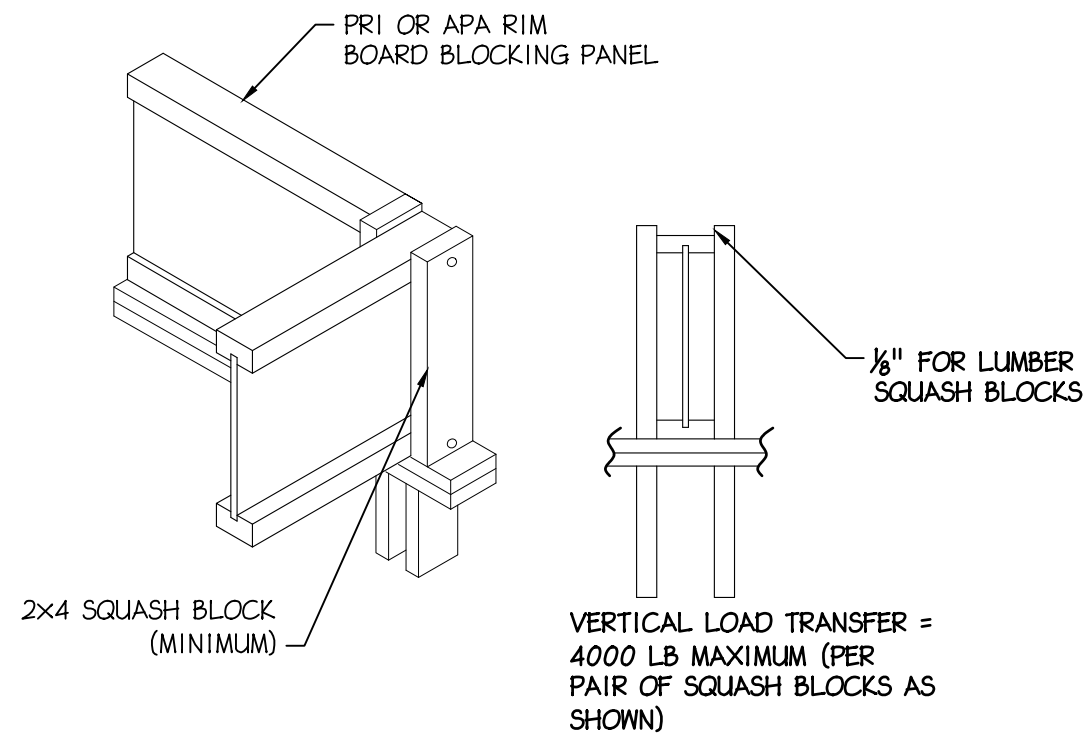
3 DETAIL - PANEL ROOF SHEATHING
SCALE : 3/4" = 1'-0"



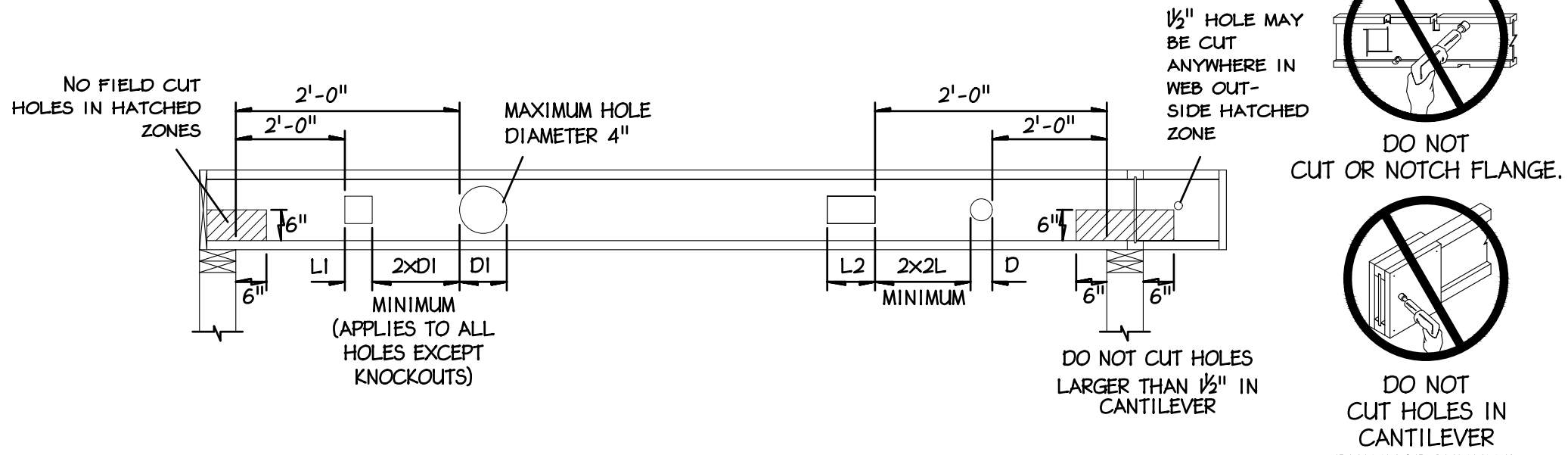
2 DETAIL - CUTTING, NOTCHING AND DRILLING
SCALE : 3/4" = 1'-0"



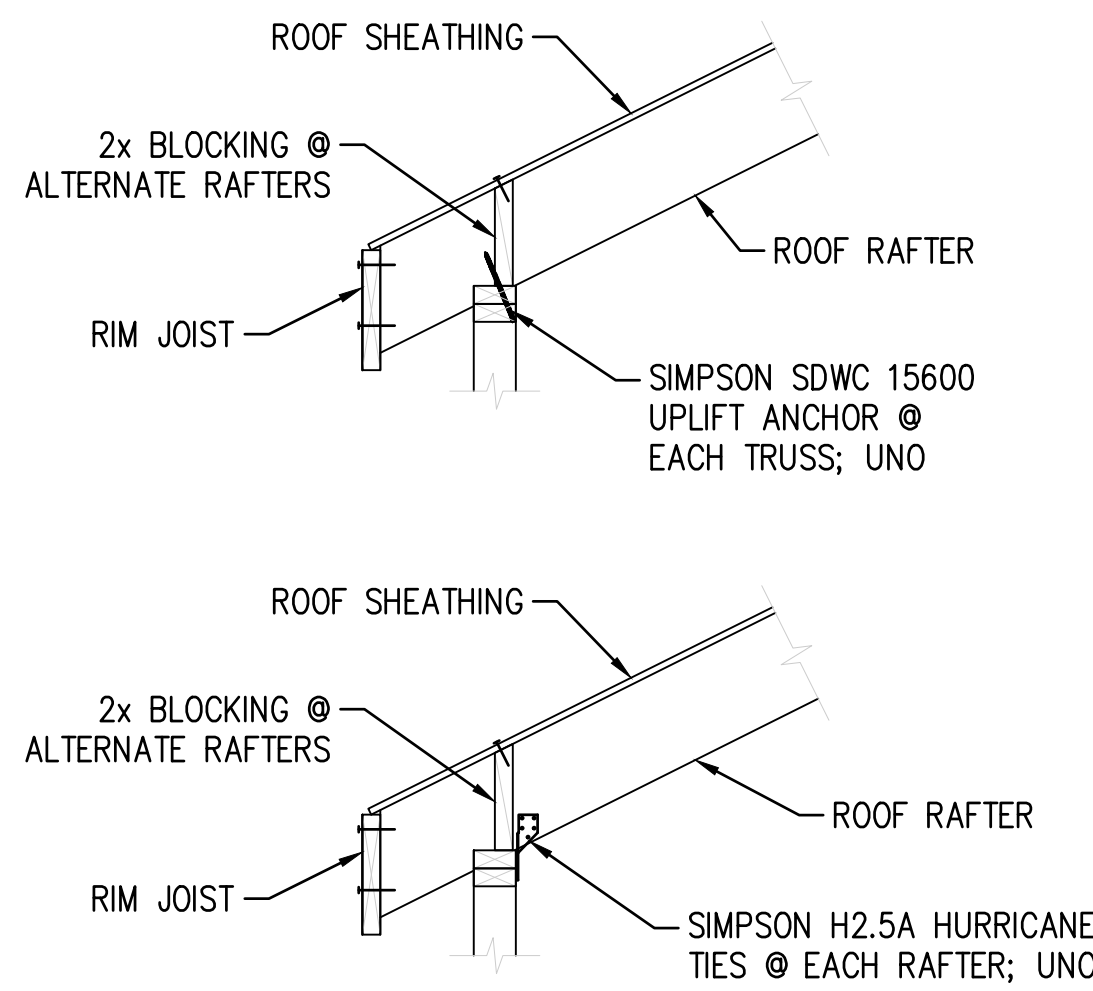
1 DETAIL - EXTERIOR CORNER
SCALE : 3/4" = 1'-0"



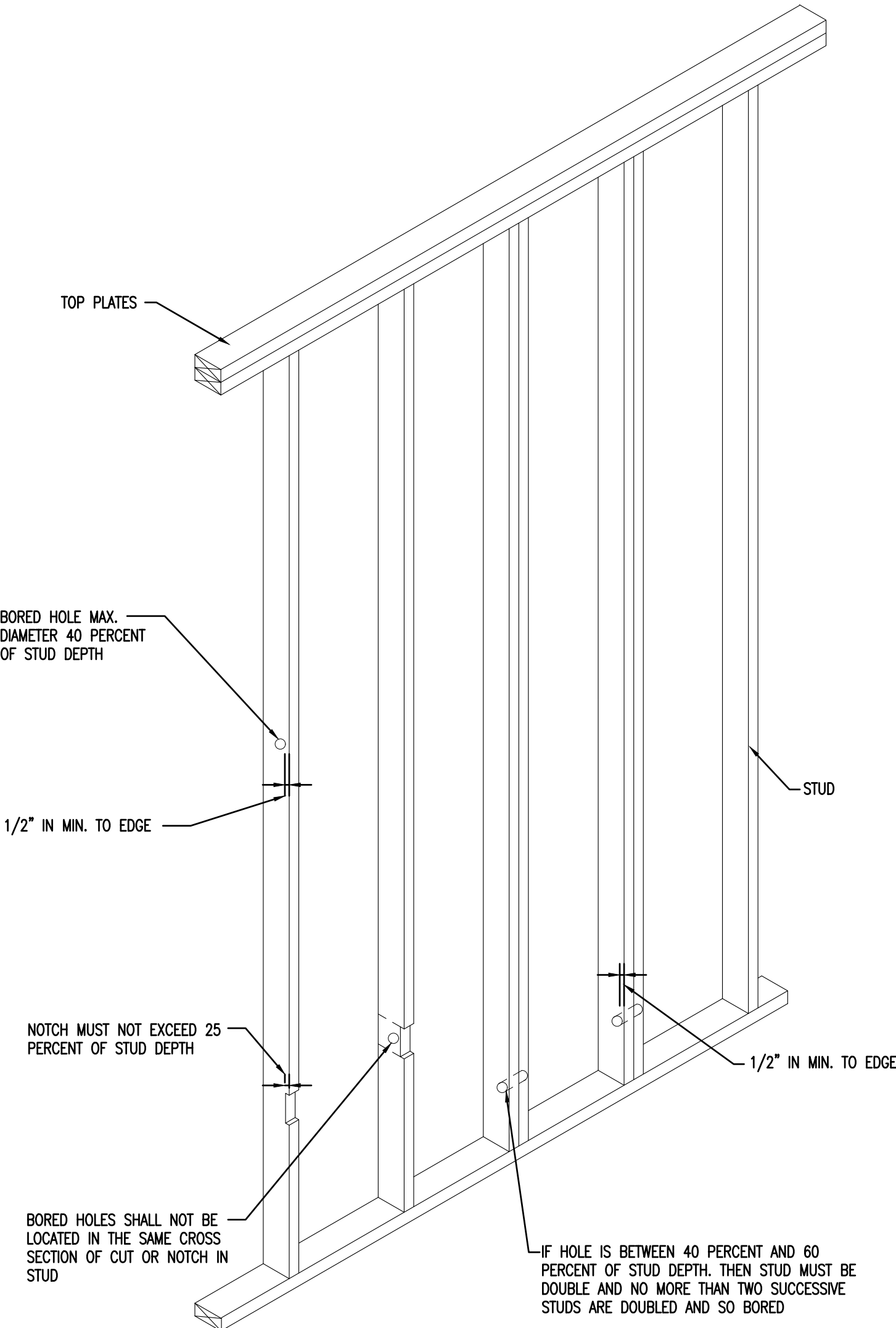
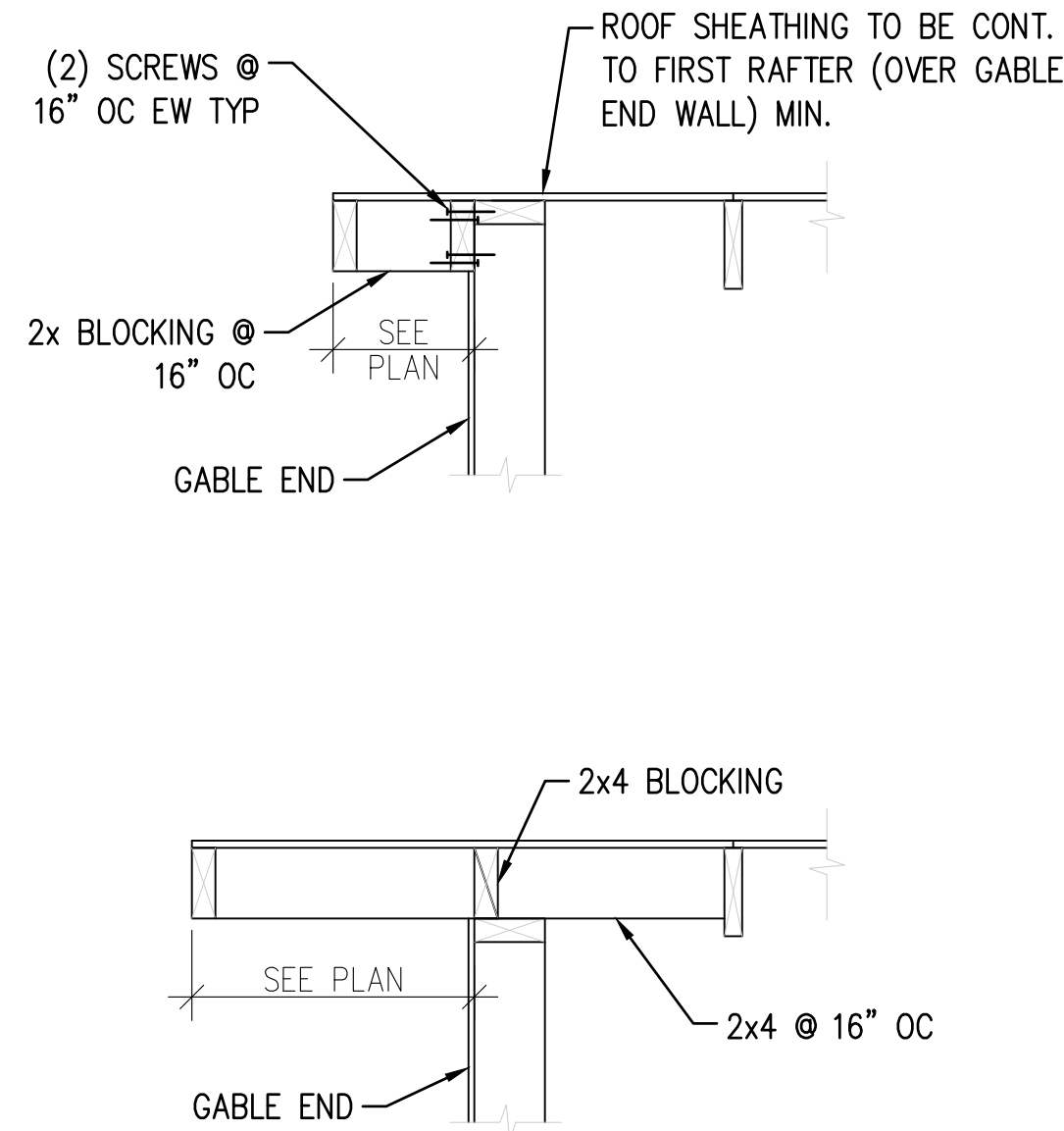
7 DETAIL - SQUASH BLOCK
SCALE : 3/4" = 1'-0"



6 DETAIL - ALLOWED HOLES IN TJL JOIST
SCALE : 3/4" = 1'-0"



8 DETAIL - RAFTER BEARING & GABLE OVERHANG
SCALE : 3/4" = 1'-0"



5 DETAIL - NOTCHING & BORING WALL
SCALE : 3/4" = 1'-0"

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DETAILS
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200 PARSONS ROAD
LONDON BRITAIN TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA 19350

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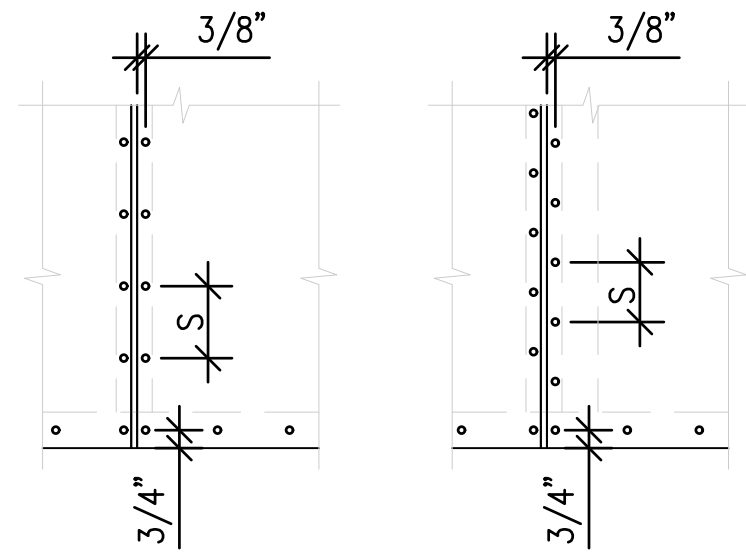
S-5

SHEAR WALL SCHEDULE									
MARK	FLOOR LEVEL	TYPE	SHEATHING	NAILING OF PANEL	NO CHORD STUDS EA END	BOTTOM & TOP PLATE CONNECTION	HOLD DOWN TYPE	HOLD DOWN FASTENERS	FOUNDATION EMBED
SW1	1	1	15/32"	10d-@ 6" EDGE; 12" FIELD	2	½ RODS @ 16"	HDU5-SDS2.5	14-SDS	1'-4"
SW2	1	1	15/32"	10d-@ 3" EDGE; 12" FIELD	2	½ RODS @ 16"	HDU14-SDS2.5	36-SDS	1'-4"

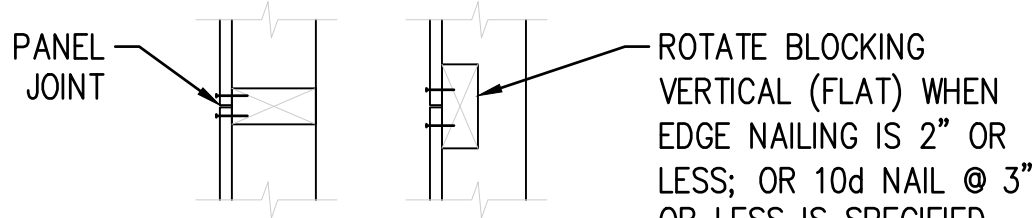
NOTES:

- ALL SHEATHING TO BE APA RATED SHEATHING.
- BLOCK ALL EDGES OF SHEAR WALL SHEATHING.
- ALL NAILS INDICATED ARE COMMON NAILS.
- 8d INDICATES 2 1/2" x 0.131" DIA NAIL; 10d INDICATES 3"x 0.148" DIA NAIL, 16d INDICATES 3 1/2"x 0.162" DIA NAIL.
- NAIL SHEATHING TO EACH STUD IN MULTIPLE/BUILT-UP STUD LOCATIONS.
- SEE PLAN FOR HOLD DOWN LOCATIONS.
- ALL HOLD DOWNS ARE SIMPSON ANCHOR TIEDOWN SYSTEM (ATS) WITH SHRINKAGE COMPENSATING DEVICES. LOADS ARE PROVIDED IN THE SHEAR WALL TABLE. SIMPSON STRONG TIE SHALL PROVIDE ATS TO RESIST THE DESIGN FORCES PROVIDE IN THE SHEAR WALL SCHEDULE.
- ALL LOADS ARE IN KIPS (NOMINAL); (TENSION(-),COMPRESSION).
- GWB SHEATHING SHALL BE FASTENED WITH 5d COOLER (1 5/8"x0.086"), WALLBOARD NAILS 0.120" W/ 3/8" HEAD, OR #6 (1 1/4") TYPE S OR W SCREW.

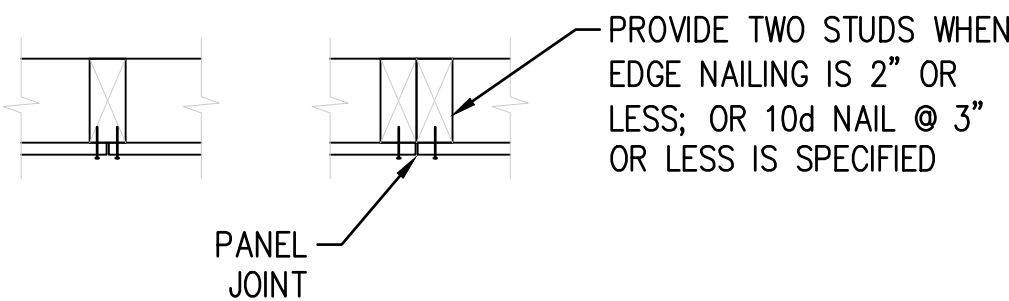
SHEAR WALL SCHEDULE



SHEAR WALL SHEATHING EDGE FASTENING REQUIREMENTS

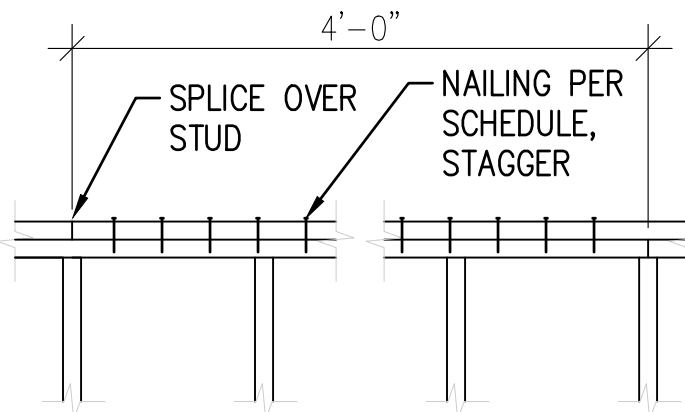


SHEAR WALL SHEATHING FASTENING TO BLOCKING



SHEAR WALL SHEATHING FASTENING TO STUDS

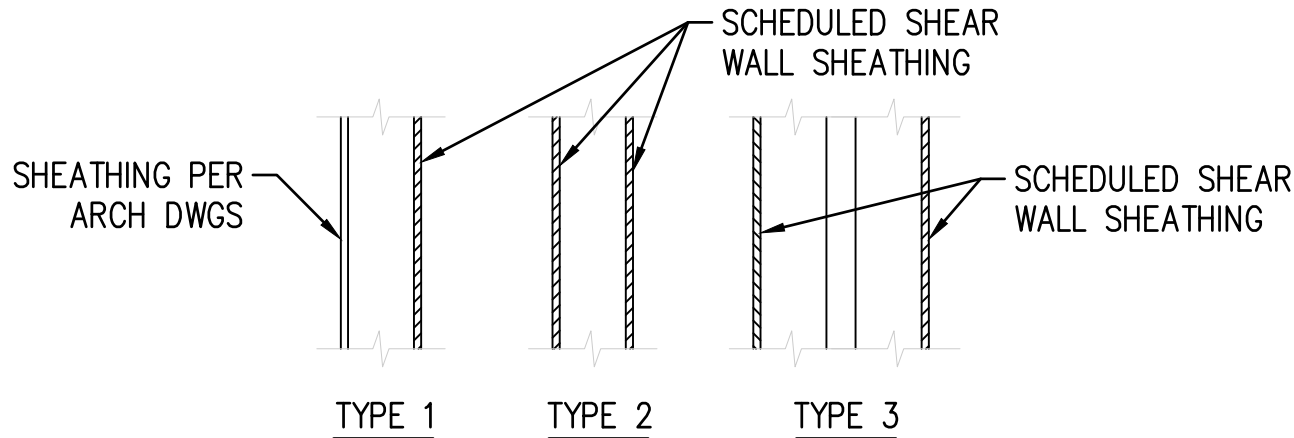
SHEAR WALL SHEATHING FASTENING REQUIREMENTS



LENGTH OF WALL (BETWEEN CORNERS)	SPLICE LENGTH	NAILING ALONG LENGTH OF SPLICE
30' & OVER	4'-0"	18-16d
20' & OVER	2'-8"	12-16d
UNDER 20'	2'-8"	8-16d

NOTES:

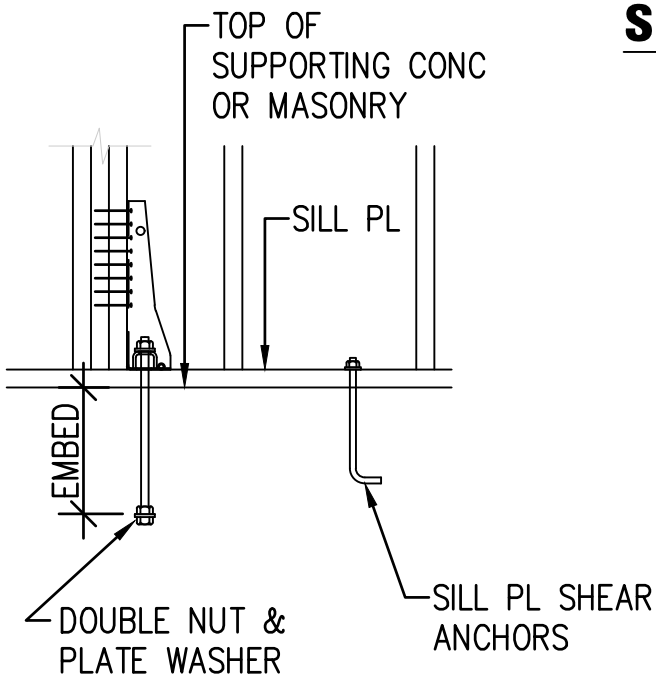
- DO NOT SPLICE TOP PLATES WITHIN 6'-0" OF ENDS OF PLYWOOD SHEAR WALLS.
- SPLICE REQUIREMENTS ABOVE APPLY AT ALL EXTERIOR WALLS AND INTERIOR SHEAR WALLS. AT ALL OTHER LOCATIONS, 1'-4" SPLICE W/ 4-16d NAILS.
- THREE (3) TOP PLATES SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - FOR 2x6 WALLS WHERE FLOOR AND ROOF MEMBERS ARE SPACED AT 24" AND SPAN OVER 29'-0", OR ARE SPACED AT 19.2" AND SPAN OVER 36'-0", OR ARE SPACED AT 16" AND SPAN OVER 43'-6".
 - FOR 2x4 WALLS WHERE FLOOR AND ROOF MEMBERS ARE SPACED AT 24" AND SPAN OVER 17'-8", OR ARE SPACED AT 19.2" AND SPAN OVER 22'-0", OR ARE SPACED AT 16" AND SPAN OVER 26'-6".



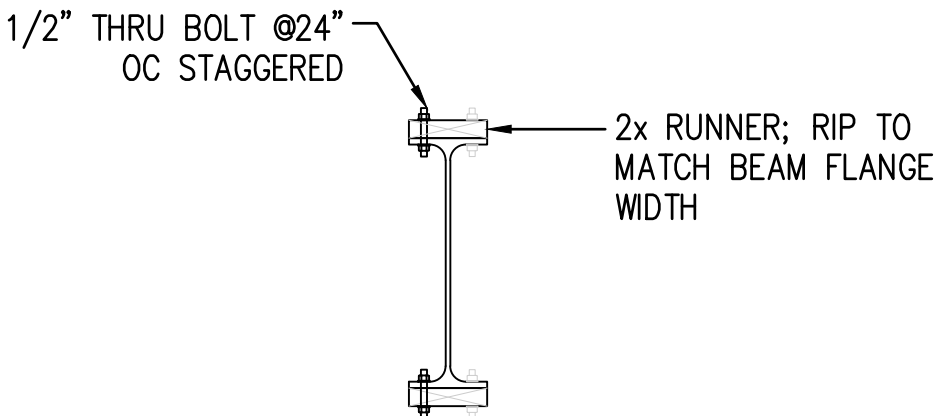
NOTES:

- REFER TO SHEAR WALL SCHEDULE FOR SHEAR WALL TYPE LOCATIONS.

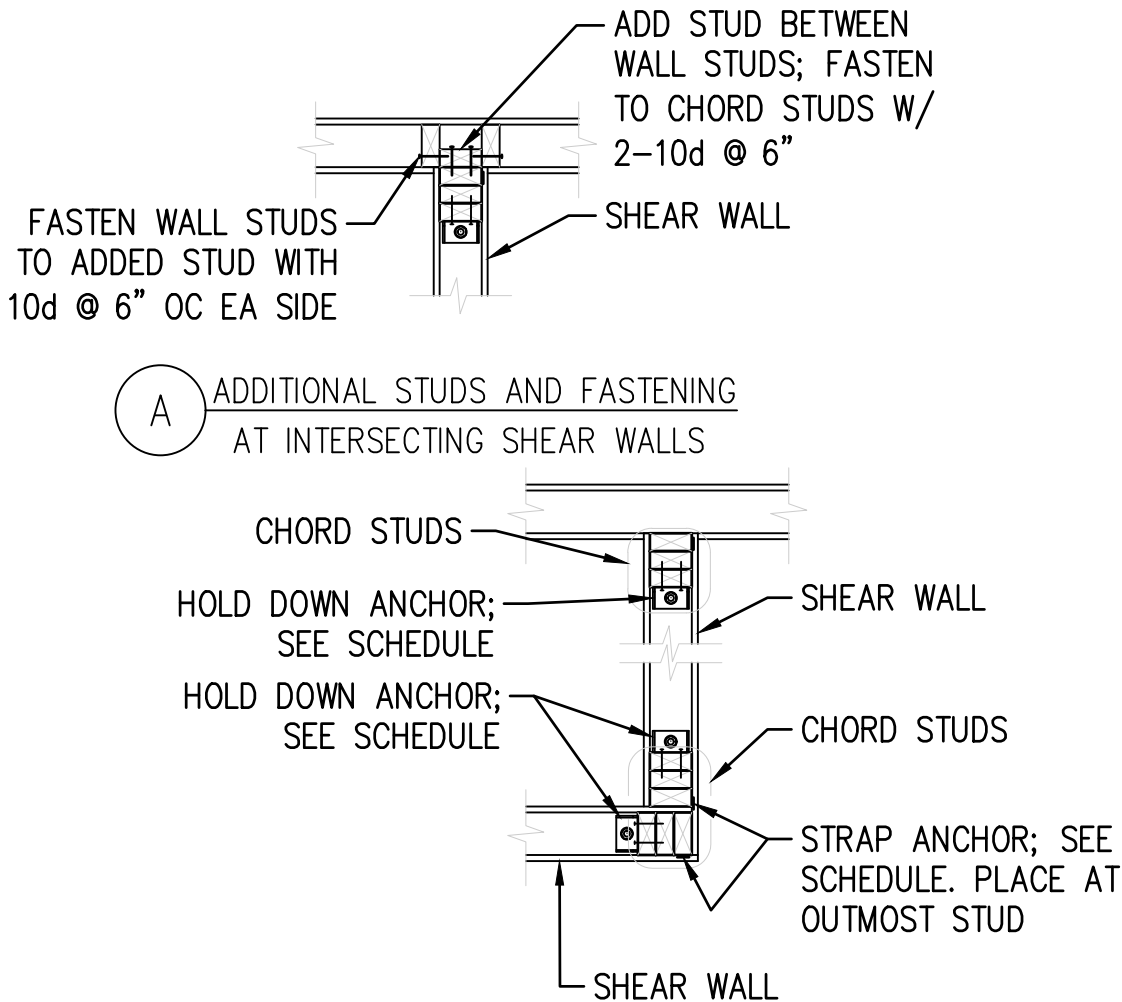
SHEAR WALL - WALL TYPES



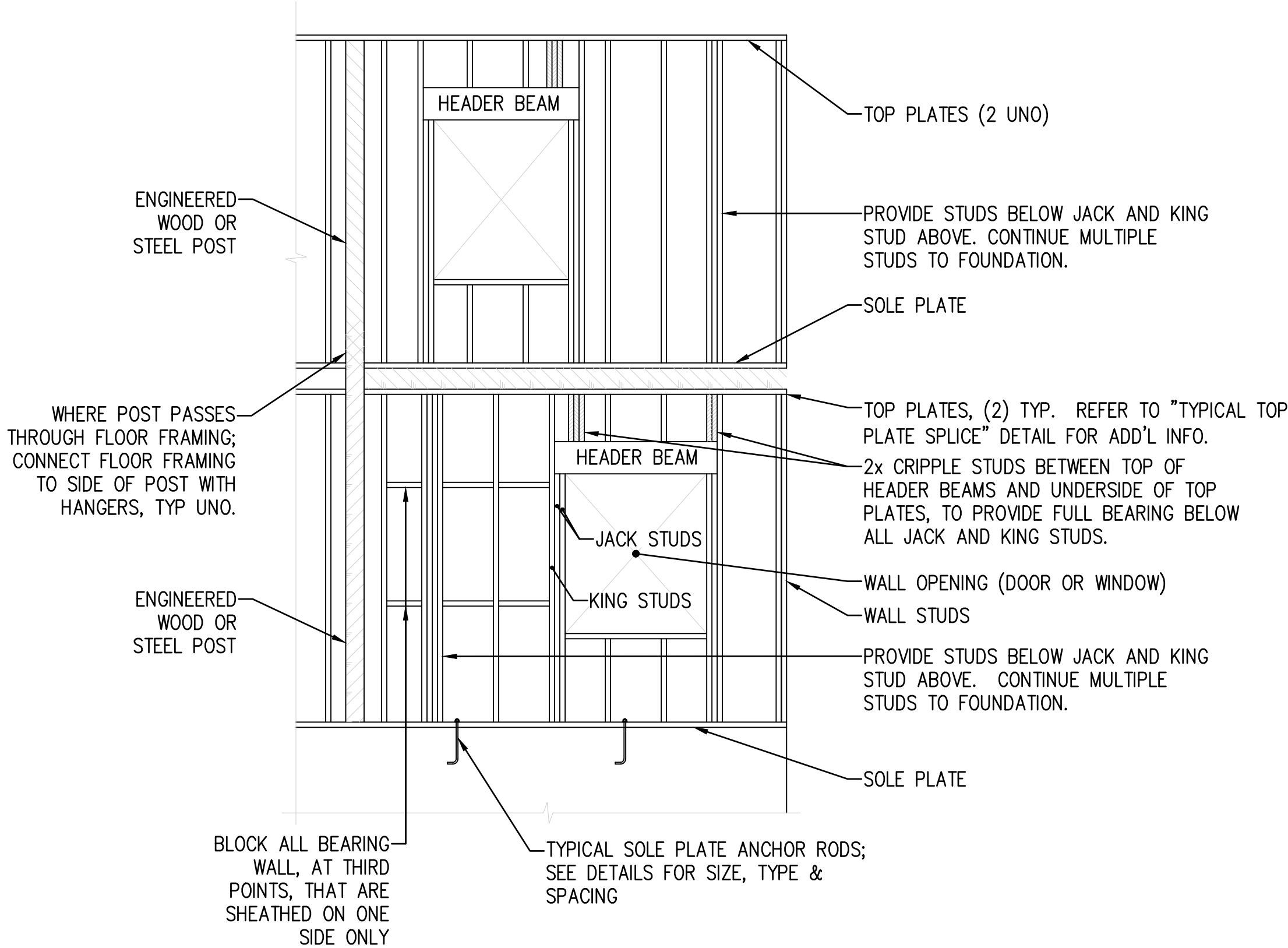
FOUNDATION HOLD DOWN DETAIL



RUNNER ON W-SHAPE BEAMS SUPPORTING WOOD FRAMING



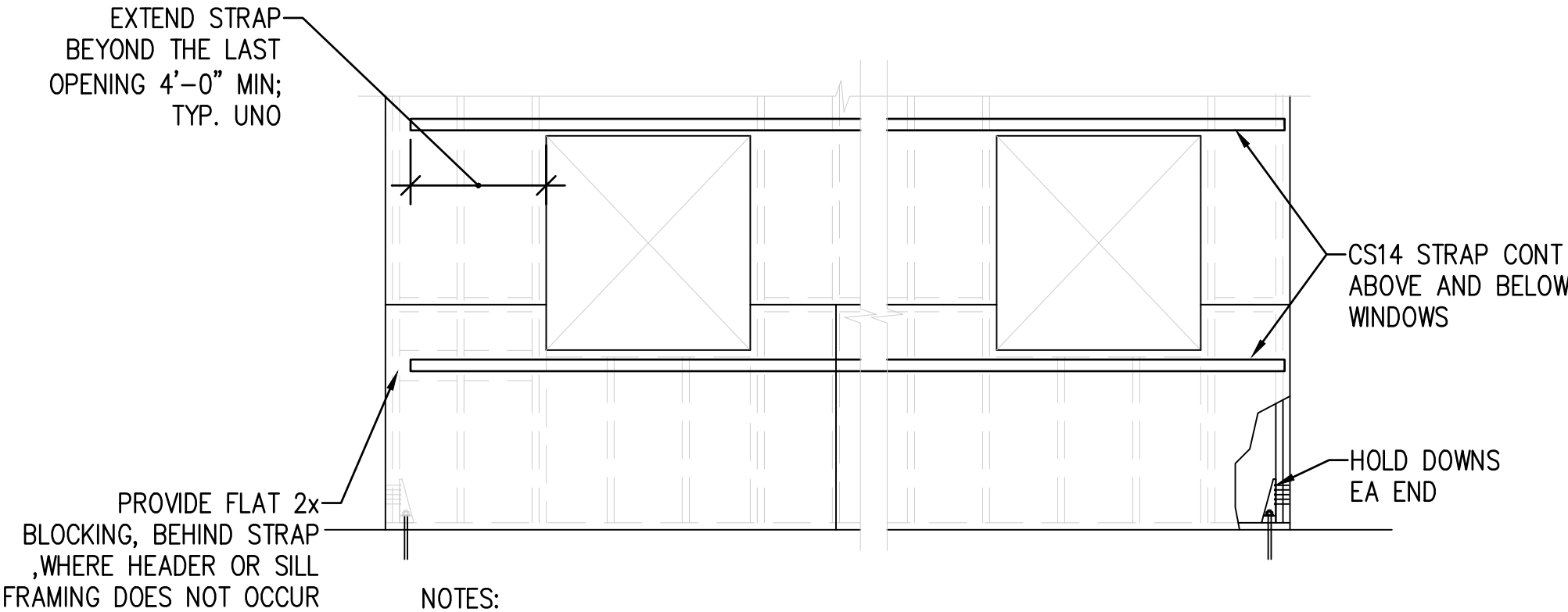
FRAMING AND ANCHORAGE AT INTERSECTING SHEAR WALLS



NOTE:

- FLOOR FRAMING SHOWN IS FOR ILLUSTRATION PURPOSES ONLY; SEE FRAMING PLAN FOR FLOOR FRAMING

LOAD-BEARING WALL FRAMING DETAIL



NOTES:

- PROVIDE THIS DETAIL FOR ALL SHEAR WALLS WITH OPENINGS.
- STRAP MUST BE CONTINUOUS ACROSS THE WALL, BETWEEN OPENINGS. SPLICING IS NOT PERMITTED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.
- SEE "SHEAR WALL FRAMING DETAIL" FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- FASTEN STRAPS WITH 8d NAILS.
- FULLY FASTEN STRAP TO SHEATHING, FILL ALL HOLES WITH NAILS.

SHEAR WALL REINFORCING AROUND OPENINGS

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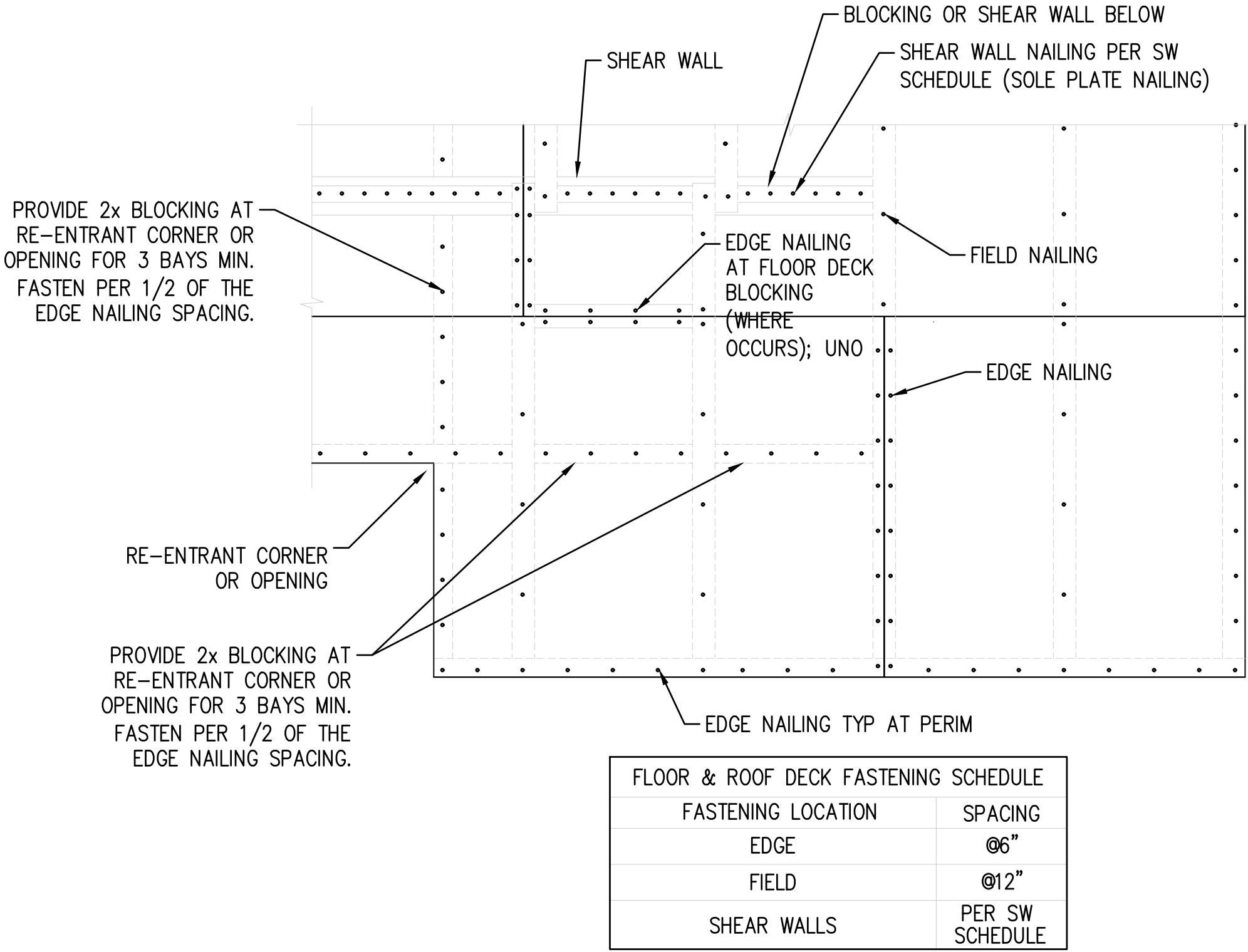
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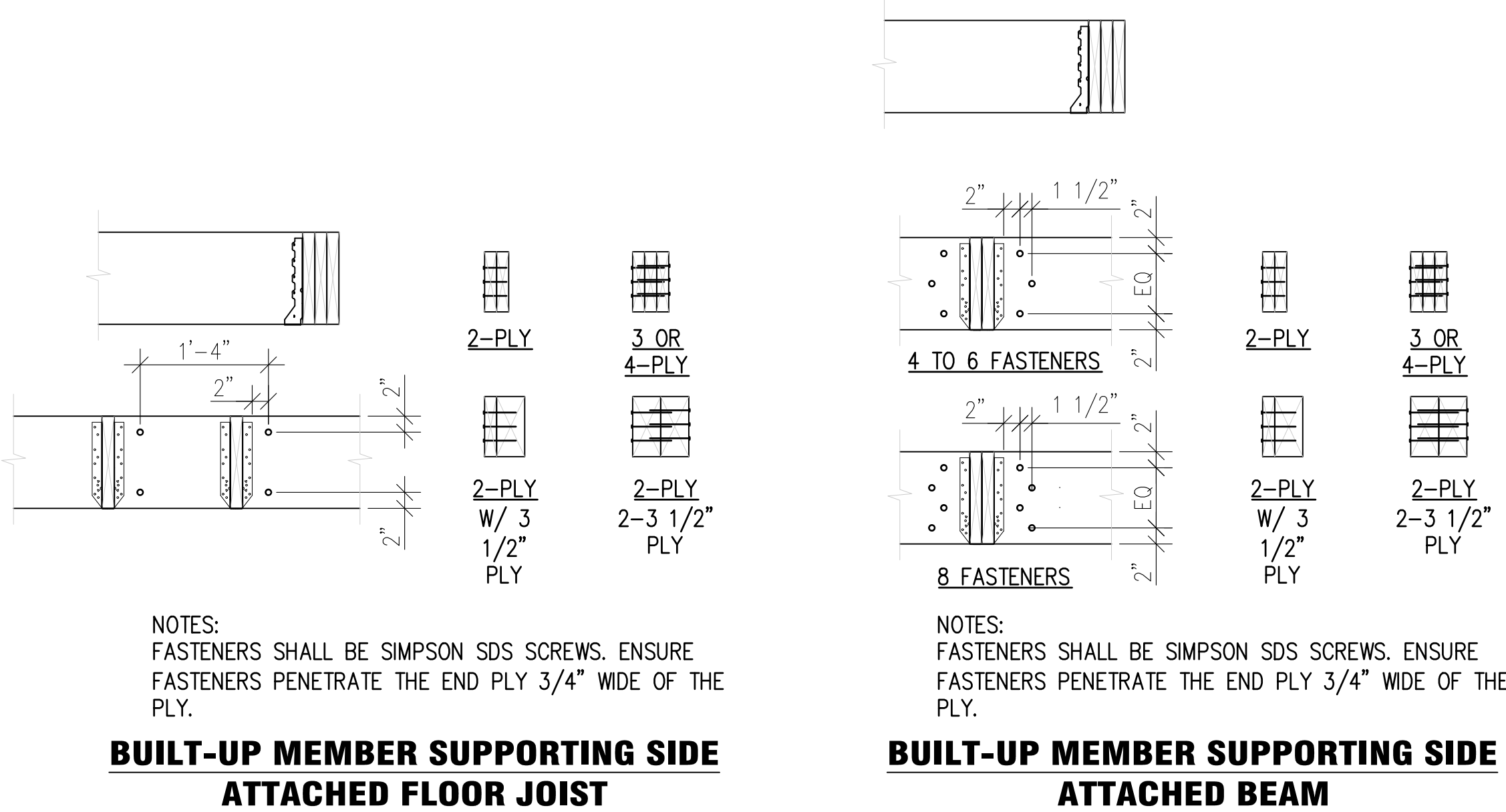
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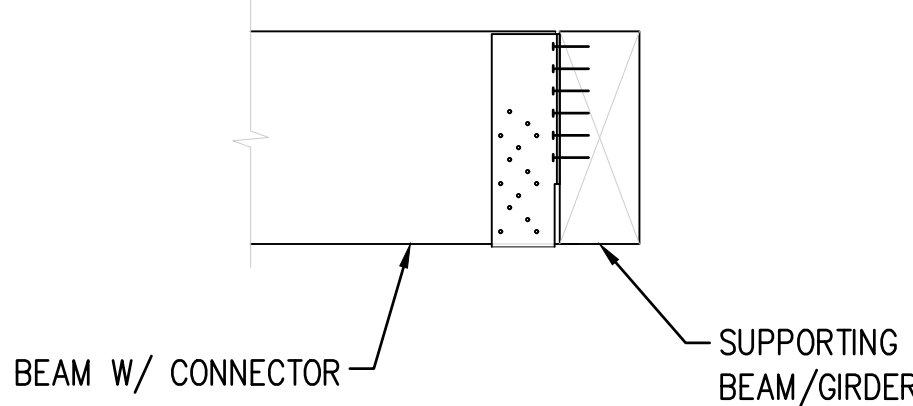
PROVIDE 10d FASTENERS AT FLOOR: 8d FASTENERS AT ROOF DECKS

FLOOR AND ROOF DECK FASTENING

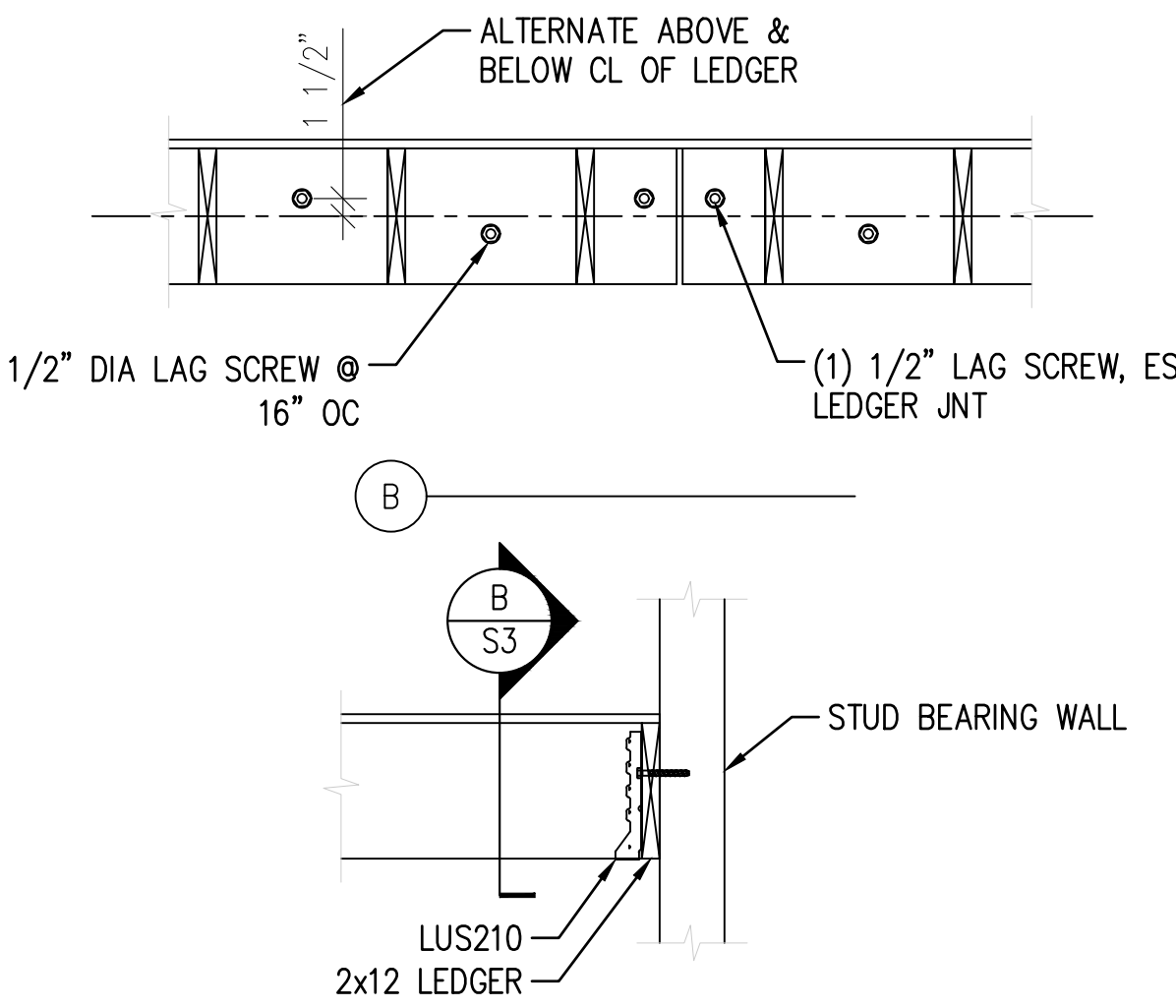


WOOD CONNECTORS – SIMPSON STRONG TIE				
MEMBER SIZE	SUPPORTING BEAM/GIRDER TYPE	CONNECTOR	CAPACITY	REMARKS
5 1/4"x 9 1/4" PSL	PSL	HGUS5.5/10	9.1 k	
	SOLID SAWN	HGUS5.5/10	6.7 k	
5 1/4"x 11 1/4" / 11 7/8" PSL	PSL	HGU5.50-SDS 11.8	14.2 k	
	SOLID SAWN	HGU5.50-SDS 11.8	10.2 k	
5 1/4"x 14" PSL	PSL	HHGU5.50-SDS 13.9	17.8 k	
	SOLID SAWN	HGU5.50-SDS 13.9	10.2 k	
5 1/4"x 16" PSL	PSL	HHGU5.50-SDS 15.9	17.8 k	
	SOLID SAWN	HGU5.50-SDS 15.9	10.2 k	
7 x 9 1/4" PSL	PSL	HGUS7.25/10	9.1 k	
	SOLID SAWN	HGUS7.25/10	6.7 k	
7 x 11 1/4" / 11 7/8" PSL	PSL	HGU7.25-SDS 11.2	14.2 k	
	SOLID SAWN	HGU7.25-SDS 11.2	10.2 k	
7 x 14" PSL	PSL	HHGU7.25-SDS 13.9	17.8 k	
	SOLID SAWN	HGU5.50-SDS 13.9	10.2 k	
7 x 16" PSL	PSL	HHGU5.50-SDS 15.9	17.8 k	
	SOLID SAWN	HGU5.50-SDS 15.9	10.2 k	

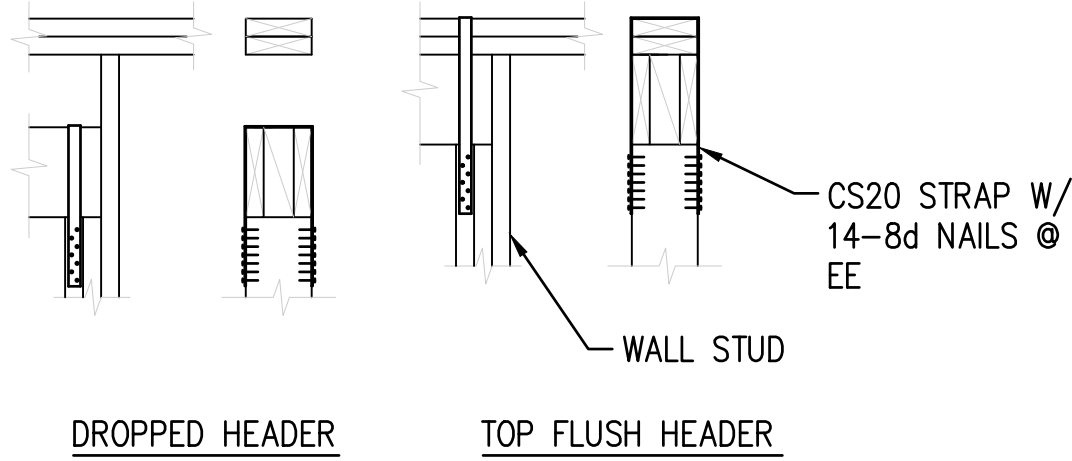
NOTES:
ALL CONNECTORS SHALL BE SIMPSON STRONG TIE.
SOLID SAWN LUMBER CONNECTORS ARE SPECIFIED BASED ON SUPPORTING MEMBERS CONSISTING OF HEM-FIR SPECIES AND #2 GRADE.
ALL CONNECTOR MUST BE FULLY FASTENED PER THE MANUFACTURES REQUIREMENTS TO ACHIEVE THE FULL CAPACITY OF THE CONNECTOR.



WOOD CONNECTOR SCHEDULE



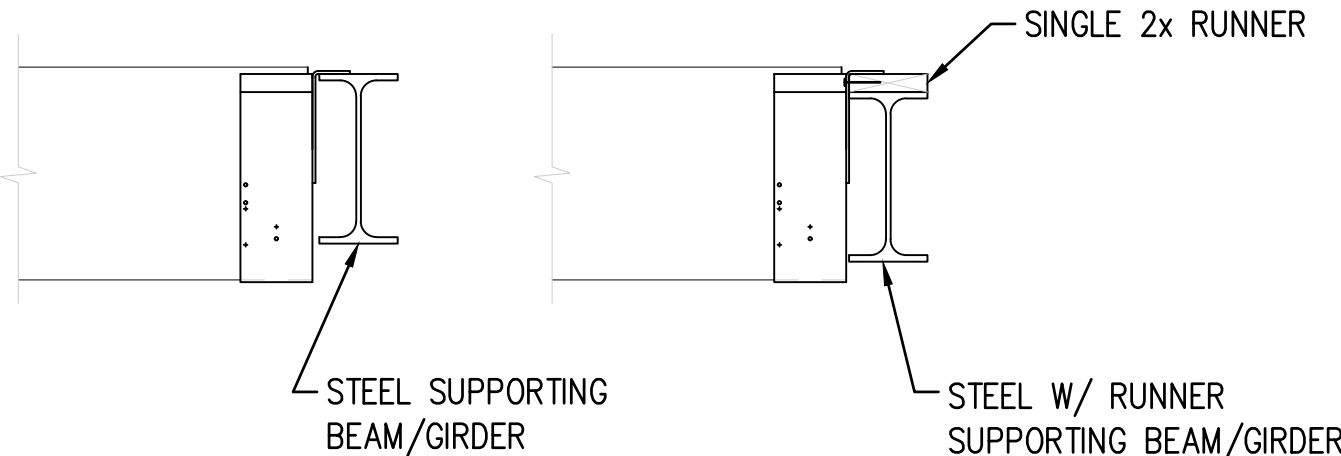
LEDGER AT 2x STUD WALL



ROOF HEADER BEAM HOLD DOWNS

WOOD CONNECTORS – SIMPSON STRONG TIE				
MEMBER SIZE	SUPPORTING BEAM/GIRDER TYPE	CONNECTOR	CAPACITY	REMARKS
5 1/4"x 9 1/4" PSL	STEEL	HGLTV6 9.18	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	
5 1/4"x 11 1/4" / 11 7/8" PSL	STEEL	HGLTV6 11.2/11.8	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	
5 1/4"x 14" PSL	STEEL	HGLTV6 13.9	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	
5 1/4"x 16" PSL	STEEL	HGLTV6 15.9	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	
7" x 9 1/4" PSL	STEEL	HGLTV7.12 9.2	7.8 k	
	STEEL W/ RUNNER	WP	2.5 k	
7" x 11 7/8" PSL	STEEL	HGLTV4 11.2/11.8-2	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	
7" x 14" PSL	STEEL	HGLTV4 14-2	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	
7"x 16" PSL	STEEL	HGLTV4 16-2	10.6 k	
	STEEL W/ RUNNER	WP	2.5 k	

NOTES:
ALL CONNECTORS SHALL BE SIMPSON STRONG TIE.
CONNECTORS ARE SPECIFIED BASED ON THE RUNNER CONSISTING OF HEM-FIR SPECIES AND #2 GRADE.
ALL CONNECTOR MUST BE WELDED AND FULLY FASTENED PER THE MANUFACTURES REQUIREMENTS TO ACHIEVE THE FULL CAPACITY OF THE CONNECTOR.



WOOD CONNECTOR SCHEDULE

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IF FLOOR AND/OR TRUSSES ARE USED, THEY ARE THE RESPONSIBILITY OF THE CONTRACTOR AND TRUSS MANUFACTURER AND MUST BE DESIGNED IN ACCORDANCE WITH LOCAL CODES AND GOOD ENGINEERING PRACTICES. TRUSSES SHOULD BE ADEQUATELY BRACED DURING AND AFTER CONSTRUCTION. PLYWOOD AND OTHER BUILDING MATERIALS SHOULD NOT BE STORED ON TRUSSES AT ANY TIME.